



City of Statesboro
Department of Planning and Development Memorandum

50 East Main Street P.O. Box 348 » (912) 764-0630
Statesboro, Georgia 30458 Statesboro, Georgia 30459 » (912) 764-0664 (Fax)

Statesboro Planning Commission
November 2, 2016
5:00 P.M.
City Hall Council Chamber

Meeting Agenda

I. Call to Order

II. Motion to Approve Order of the Meeting Agenda

III. Approval of Minutes

- 1.) October 4, 2016 Meeting Minutes

IV. New Business

1. **APPLICATION # RZ 16-10-01**: Marc Bruce on behalf of J.C. Lewis Investment Company, LLC requests a zoning map amendment for 1 acre of property located at 115 Continental Road from CR (Commercial Retail) zoning district to HOC (Highway Oriented Commercial) zoning district to permit a retail new and used automobile dealership at the location (Tax Parcel # MS42 000013 000).
2. **APPLICATION # RZ 16-10-02**: Marc Bruce on behalf of J.C. Lewis Investment Company, LLC requests a zoning map amendment for 8.21 acres of property located at 0 Veterans Memorial Parkway from CR (Commercial Retail) zoning district to HOC (Highway Oriented Commercial) zoning district to permit a retail new and used automobile dealership at the location (Tax Parcel # MS42 000012 000).
3. **APPLICATION # RZ 16-10-03**: Marc Bruce on behalf of J.C. Lewis Investment Company, LLC requests a zoning map amendment for a .5 acre parcel located at 0 Veterans Memorial Parkway from CR (Commercial Retail) zoning district to HOC (Highway Oriented Commercial) zoning district to permit a retail new and used automobile dealership at the location (Tax Parcel # MS42 000012 002).
4. **APPLICATION # RZ 16-11-02**: Marc Bruce on behalf of J.C. Lewis Investment Company, LLC requests a zoning map amendment for 4.8 acres of property located at 0 Veterans Memorial Parkway from CR (Commercial Retail) zoning district to HOC (Highway Oriented Commercial) zoning district to permit a retail new and used automobile dealership at the location (Tax Parcel # MS42 000012 001).

5. **APPLICATION # V 16-09-02:** Beacon Place Statesboro, LLC requests a variance from Article XV Section 1509(C) Table 3 regarding maximum allowed height for the installation of a monument sign at 0 S&S Railroad Bed Road (Tax Parcel # 107 000005 007).

6. **APPLICATION # V 16-10-06:** Compassion Christian Church requests a variance from Article XV Section 1509(C) Table 3 regarding the maximum aggregate sign area and maximum square feet allowed for installation of a monument sign and building signs at 0 Cawana Road (Tax Parcel # 107 000004 000).

7. **APPLICATION # RZ 16-10-05:** Ray Hendley requests a zoning map amendment for a 1.19 acre parcel located at 453 South College Street from R20 (Single-Family Residential) zoning district to R4 (High Density Residential District) zoning district to permit the construction of five (5) one-bedroom cottages (Tax Parcel # S21 000006 000).

8. **APPLICATION # V 16-11-01:** Ray Hendley requests a variance from Article XXII Sec. 2203.1(A) regarding the minimum size dwelling requirements and a variance from Article VI Sec. 603(A)(1) regarding the minimum rear yard setback for the parcel located at 453 South College Street (Tax Parcel # S21 000006 000).

9. **APPLICATION # DSDA 16-10-002:** AgSouth Farm Credit requests the demolition of a structure located at 20 East Vine Street, a property located within the boundaries of the Downtown District. Article XXX Section 3003 of the Statesboro Zoning Ordinance requires a finding of necessity for the demolition of structures deemed worthy of preservation by City Council (Tax Parcel # S29 000022 000).

10. **APPLICATION # DSDA 16-10-001:** AgSouth Farm Credit requests the demolition of a structure located at 0 East Vine Street, a property located within the boundaries of the Downtown District. Article XXX Section 3003 of the Statesboro Zoning Ordinance requires a finding of necessity for the demolition of structures deemed worthy of preservation by City Council (Tax Parcel # S29 000021 000).

V. Announcements

VI. Adjourn



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Department of Planning and Development Memorandum

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Statesboro Planning Commission
October 4, 2016
5:00 P.M.
City Hall Council Chamber

Meeting Minutes

Present: Planning Commission Members: David McLendon, Patrick Sullivan, Benjamin McKay, Jamey Cartee and James W. Byrd, Sr. **City of Statesboro Staff:** Director of Planning and Development Frank Neal, Planning & Development Specialist Candra E. Teshome, Development Project Manager Cindy Clifton, Code Compliance Officer Mike Chappel and Code Compliance Officer Scott Brunson.

I. Call to Order

Commissioner Byrd called the meeting to order at 5:00 PM.
(Commissioner Sullivan arrived at 5:01 PM)

II. Motion to Appoint Temporary Chair to Preside

Commissioner McLendon made a motion to appoint Commissioner Byrd as the temporary chair to preside over the meeting, seconded by Commissioner Cartee and the motion carried 5 to 0.

III. Motion to Approve Order of the Meeting Agenda

Commissioner McLendon made a motion to approve the order of the meeting agenda, seconded by Commissioner McKay and the motion carried 5 to 0.

IV. Motion to Nominate a Planning Commission Member to Serve as Chair of the Commission

Commissioner Sullivan made a motion to nominate Commissioner Byrd as the Chair of the Commission, seconded by Commissioner Cartee. Because Commissioner Byrd served as the Vice Chair until the above mentioned nomination, Commissioner McLendon made a motion to nominate Commissioner Sullivan as the Vice Chair of the Commission, seconded by Commissioner Cartee and the motion carried 5 to 0.

V. Approval of Minutes

Commissioner Cartee made a motion to approve the minutes of the August 2, 2016 and September 6, 2016 Planning Commission meetings, seconded by Commissioner McLendon and the motion carried 5 to 0.

VI. New Business

1. **APPLICATION # DSDA 16-09-001:** First Baptist Church of Statesboro requests the demolition of a structure located at 24 East Olliff Street, a property located within the boundaries of the Downtown District. Article XXX Section 3003 of the Statesboro Zoning

Ordinance requires a finding of necessity for the demolition of structures deemed worthy of preservation by City Council (Tax Parcel # S27 000045 000).

Frank Neal presented the case to the commission and took any questions. Jon Owens—the facility manager for First Baptist Church of Statesboro—spoke on behalf of the request. After Mr. Owens' statement, Mr. Neal stated that staff was unaware of any historical significance and that staff had no comment regarding the applicant's request.

No one spoke in opposition to the request.

Commissioner Cartee made a motion to approve the applicant's request, seconded by Commissioner McLendon and the motion carried 5 to 0.

2. **APPLICATION # DSDA 16-09-002**: First Baptist Church of Statesboro requests the demolition of a structure located at 206 Oak Street, a property located within the boundaries of the Downtown District. Article XXX Section 3003 of the Statesboro Zoning Ordinance requires a finding of necessity for the demolition of structures deemed worthy of preservation by City Council (Tax Parcel # S28 000001 000).

Frank Neal presented the case to the commission and took any questions. Jon Owens—the facility manager for First Baptist Church of Statesboro—spoke on behalf of the request. After Mr. Owens' statement, Mr. Neal stated that staff was unaware of any historical significance and that staff had no comment regarding the applicant's request.

No one spoke in opposition to the request.

Commissioner McLendon made a motion to approve the applicant's request, seconded by Commissioner Cartee and the motion carried 5 to 0.

3. **APPLICATION # DSDA 16-09-003**: The Downtown Statesboro Development Authority requests the demolition of a structure located at 9 West Inman Street (listed as 11 West Inman Street), a property located within the boundaries of the Downtown District. Article XXX Section 3003 of the Statesboro Zoning Ordinance requires a finding of necessity for the demolition of structures deemed worthy of preservation by City Council (Tax Parcel # S19 000040 000).

Commissioner McLendon requested abstention from voting due to a family member's association with the Downtown Statesboro Development Authority (DSDA), the applicant. Frank Neal presented the case to the commission and took any questions. Allen Muldrew—Director of the DSDA—spoke on behalf of the request. After Mr. Muldrew's statement, Mr. Neal stated that staff was unaware of any historical significance and that staff had no comment regarding the applicant's request.

No one spoke in opposition to the request.

Commissioner Sullivan made a motion to approve the applicant's request, seconded by Commissioner McKay and the motion carried 4 to 0.

4. **APPLICATION # CUV 16-08-01**: Justine Taylor requests a conditional use variance from Article V of the Statesboro Zoning Ordinance for .34 acres of property located at 18 Carmel Drive to utilize the property as a community living arrangement facility (Tax Parcel # S51 000064A 000).

Frank Neal presented the case to the commission and took any questions from the commissioners. Francys Johnson—attorney at The Johnson Firm P.C.—spoke on behalf of the applicant. After Mr. Johnson’s statement, Mr. Neal stated that staff approved of the listed conditions.

No one spoke in opposition to the request.

Commissioner McLendon made a motion to approve the applicant’s request, seconded by Commissioner Cartee and the motion carried 5 to 0.

5. **APPLICATION # V 16-08-02**: John Ray Hendley requests a variance from Article XV (Signs) Section 1509(C) Table 3 of the Statesboro Zoning Ordinance regarding the minimum 5’ setback requirement for a sign located at 30 West Inman Street (Tax Parcel # S19 000050 000).

Frank Neal presented the case to the commission and took any questions from the commissioners. Bryan Davis—Property Manager for Hendley Properties—spoke on behalf of the request. He stated he did not properly measure the location of the sign installation. He also stated the applicant is requesting the variance to keep the sign, in its current state, at the location without modification to the sign structure.

No one spoke in opposition to the request.

After some discussion, Commissioner Sullivan made a motion to approve the variance, seconded by Commissioner McLendon and the motion carried 5 to 0.

6. **APPLICATION # SUB 16-09-01**: RDJ, LLC requests preliminary plat approval for an 83-lot subdivision for phases II and III of the Whispering Pines subdivision (Tax Parcel # MS42 000008 000).

Frank Neal presented the case to the commission, provided a brief explanation of staff’s conditions and took any questions from the commissioners. Tracy NesSmith—City of Statesboro Fire Prevention Officer—spoke to the commissioners to provide clarification on the Fire Department’s recommendation regarding a second emergency vehicle access point.

David Hendrix of Maxwell-Reddick and Associates, Inc. spoke on behalf of the developer and stated the Fire Department’s recommendation would create a hardship on the owner. Ronnie Pope, one of the property owners, spoke against the Fire Department’s recommendation.

Joe Goldstein, a resident of Whispering Pines, made comments regarding a second emergency vehicle access point and spoke in favor of the Fire Department's recommendation.

After much discussion, Commissioner Cartee made a motion to approve the request with staff recommendations with the exception of the Fire Department's recommendation. The commissioners began additional discussion and Commissioner Byrd mentioned the motion again once discussion finished. Frank Neal repeated Commissioner Cartee's motion, as requested by Commissioner Sullivan. Commissioner Sullivan seconded the motion and it carried 3 to 2 with Commissioner McKay and Commissioner McLendon against the request and Commissioner Cartee, Commissioner Byrd and Commissioner Sullivan for the request.

VII. Announcements

There were no announcements.

VIII. Adjourn

Commissioner McLendon made a motion to adjourn, seconded by Commissioner Cartee and the motion carried 5 to 0.

Chair – James W. Byrd, Sr.

**Secretary – Frank Neal, AICP
Director of Planning and Development**



City of Statesboro-Department of Planning and Development
DEVELOPMENT SERVICES REPORT

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RZ 16-10-01, RZ 16-10-02, RZ 16-10-03 & RZ 16-11-02
ZONING MAP AMENDMENT REQUESTS
115 Continental Road & 0 Veterans Memorial Parkway

LOCATION: 115 Continental Road, 0 Veterans Memorial Parkway, 0 Veterans Memorial Parkway and 0 Veterans Memorial Parkway

REQUEST: Rezone from CR (Commercial Retail) to HOC (Highway Oriented Commercial) to permit construction of a new and used car and truck dealership.

APPLICANT: Marc Bruce on behalf of J.C. Lewis Investment Company, LLC

OWNER(S): J.C. Lewis Investment Company, LLC

ACRES: 14.51 acres combined

PARCEL TAX MAP #: MS42 000013 000, MS42 000012 000, MS42 000012 002 and MS42 000012 001

COUNCIL DISTRICT: 2 (Jones)



PROPOSAL:

The applicant is requesting a zoning map amendment for four (4) parcels totaling 14.51 acres from CR (Commercial Retail) to HOC (Highway Oriented Commercial) to permit a new and used automobile dealership (See **Exhibit A** – Location Map, **Exhibit B** – Proposed Site Layout Plan).

BACKGROUND:

The subject parcels are located at 115 Continental Road (tax parcel MS42 000013 000), 0 Veterans Memorial Parkway (tax parcel MS42 000012 000), 0 Veterans Memorial Parkway (tax parcel MS42 000012 002) and 0 Veterans Memorial Parkway (tax parcel MS42 000012 001). The parcels are currently undeveloped, with the exception of one (2) single-family structures located at 115 Continental Road (tax parcel MS42 000013 000).

SURROUNDING ZONING/LAND USES:

	ZONING:	LAND USE:
NORTH:	R4 (High Density Residential District), R10 (Single-Family Residential) & HI (Heavy Industrial—Bulloch County)	Apartment houses and single-family residential
SOUTH:	CR (Commercial Retail) & HC (Highway Commercial—Bulloch County)	Food service facilities, retail facilities and automobile sales
EAST:	CR (Commercial Retail) & R4 (High Density Residential District)	Service station
WEST:	HI (Heavy Industrial—Bulloch County) & HC (Highway Commercial)—Bulloch County	Warehouses

Properties to the north are predominantly residential, while properties to the south include food service and retail facilities, including Advance Auto Parts, Jenkin's Pre-owned Auto Sales and Uncle Shug's Chicken Barn. Flash Foods is to the east and several warehouses are to the west in Bulloch County. (See **EXHIBIT C**—Photos of Subject Site and Surrounding Properties).

COMPREHENSIVE PLAN:

The subject site lies within the "Gateways—City Limits" character area as identified by the City of Statesboro 2014 Future Development Map (See **EXHIBIT D**—2014 Future Development Map) within the *City of Statesboro Updated 2014 Comprehensive Plan*. The site is adjacent to the "Activity Centers/Regional Centers" and the "Commercial Redevelopment Area #2" character areas.

Vision:

Gateways into Statesboro, which are primarily located on major arterials at their intersections with the bypass, should make it clear to residents and visitors that they are entering into the incorporated area of the City through careful attention to development standards, signage, landscaping, and similar elements.

Suggested Development & Implementation Strategies

- There should be good vehicular and pedestrian/bike connections to retail/commercial services as well as internal street network connectivity, connectivity to adjacent properties/subdivisions, and multiple site access points.
- Encourage compatible architecture styles that maintain regional character.
- Screen parking areas from view through attractive landscaping, low fencing, etc. Where feasible, locate parking beside or behind buildings.
- Install streetscape improvements which reflect the character of Statesboro through special treatment of sidewalks (such as pavers, scored concrete, etc.), pedestrian scaled lighting, street trees, hardscape, seasonal plantings, etc.

Statesboro Updated 2015 Comprehensive Plan, Community Agenda page 32.

COMMUNITY FACILITIES AND TRANSPORTATION:

The subject properties are currently serviced by city utilities, sanitation, and public safety. No significant impact is expected on community facilities or services as a result of this request.

ENVIRONMENTAL:

The subject properties do contain wetlands and are not located in a special flood hazard area. Any environmental issues will be addressed during the permitting phase.

ANALYSIS:

I. Whether a zoning map amendment requested by applications RZ 16-10-01, RZ 16-10-02, RZ 16-10-03 and RZ 16-11-02 should be granted to allow the site to develop as a commercial automobile dealership.

"Automobile and allied sales and services: service stations and repair shops, used car and truck sales, automotive parts and accessories, new car and truck sales, boat and marine sales, trailer and mobile home sales, heavy equipment and/or farm implement sales, and shops" are listed permissible uses allowable by right only within the HOC (Highway Oriented Commercial) zoning district. The subject site requesting the use of automobile sales is zoned CR (Commercial Retail). Automobile and allied sales and services is not a permissible use by right for the subject site under its current zoning designation.

Current Zoning Compared to Requested Zoning

Commercial Retail Districts allow for general retail, wholesale, office, and personal service establishments and health care uses. This district allows for more intense and less dense development, but allows for uses that are not as automobile dependent as the Highway Oriented Commercial district, in which the principal use of land is for establishments offering accommodations and supplies or services to motorists and the traveling public and require more land area.

The CR (Commercial Retail) zoning district for the City of Statesboro is generally considered to be appropriate for commercial development that is more compact in density, but likely higher in intensity of use, than those uses permitted within the HOC (Highway Oriented Commercial) district. The HOC (Highway Oriented Commercial) district, therefore, requires deeper setbacks and larger minimum lot sizes than the CR district. Furthermore, the purpose statement for the HOC (Highway Oriented Commercial) district specifically states that HOC (Highway Oriented

Commercial) zones should be located along major thoroughfares and should be maintained for those uses “not encouraged in commercial retail areas.” Therefore, it is the recommendation of staff that adjusting the zoning of the subject site to HOC (Highway Oriented Commercial) in order to permit the desired use would be appropriate for this parcel given its location and the surrounding character and context.

The request to rezone the combined 14.51 acre properties from CR (Commercial Retail) district to HOC (Highway Oriented Commercial) district should be considered in light of the standards for determination of zoning map amendments given in Section 2007 of the Statesboro Zoning Ordinance; the vision and community policies articulated within the city’s two (2) primary land use policies: The Statesboro Comprehensive Plan and the 2035 Bulloch County/City of Statesboro Long Range Transportation Plan; and the potential for the property to develop in conformance with the requirements of the proposed HOC (Highway Oriented Commercial) zoning district as set forth in the Statesboro Zoning Ordinance.

Section 2007 of the Statesboro Zoning Ordinance provides eight (8) standards for the Mayor and City Council to consider “in making its determination” regarding a zoning map amendment and “balancing the promotions of the public health, safety, morality (morals), and general welfare against the right of unrestricted use of property.” Those standards are numbered below 1-8. Staff findings regarding some of the factors are given for Council’s consideration of the application:

(1) Existing uses and zoning or (of) property nearby;

- Adjacent and nearby zones are mixed use and include Commercial Retail, Single-family residential, Heavy Industrial (Bulloch County), and Highway Commercial (Bulloch County). Despite the surrounding zoning districts, many of the nearby uses are designed to provide services to the traveling public.
- Staff suggests that a zoning map amendment would be appropriate in this case if Council were to make a finding that the area around the subject site is changing or has transitioned since the property was zoned Commercial Retail (most likely in 1977) and that the requested rezone would be appropriate for present conditions and the projected future needs of the City.

(2) The extent to which property values are diminished by the particular zoning restrictions.

(3) The extent to which the description of property values of the property owner promotes the health, safety, morals or general welfare of the public.

(4) The relative gain to the public, as compared to the hardship imposed upon the property owner.

(5) The suitability of the subject property for the zoned purposes.

- The HOC zoning district requires 20,000 square feet in lot size per structure. These lots can be developed in accordance with the requirements of the HOC zoning district.

(6) The length of time the property has been vacant as zoned, considered in the context of land development in the area in the vicinity of the property.

- The lots have most likely been vacant since its original Commercial Retail zoning designation, with the exception of 115 Continental Road, on which one (2) single-family structures exist.

(7) The extent the proposed change would impact the following: population density in the area; community facilities; living conditions in the area; traffic patterns and congestion; environmental aspects; existing and future land use patterns; property values in adjacent areas;

(8) Consistency with other governmental land use, transportation, and development plans for the community.

STAFF RECOMMENDATION:

Staff recommends approval of the requested zoning map amendments as it is a reasonable finding of fact that the conditions surrounding the subject site have changed since the (CR) Commercial Retail zoning in 1977. Furthermore, the property can be developed in conformance with the requested HOC zoning district and the proposal is consistent with the *Statesboro Comprehensive Plan*.

EXHIBIT A: LOCATION MAP



EXHIBIT B: PROPOSED SITE PLAN

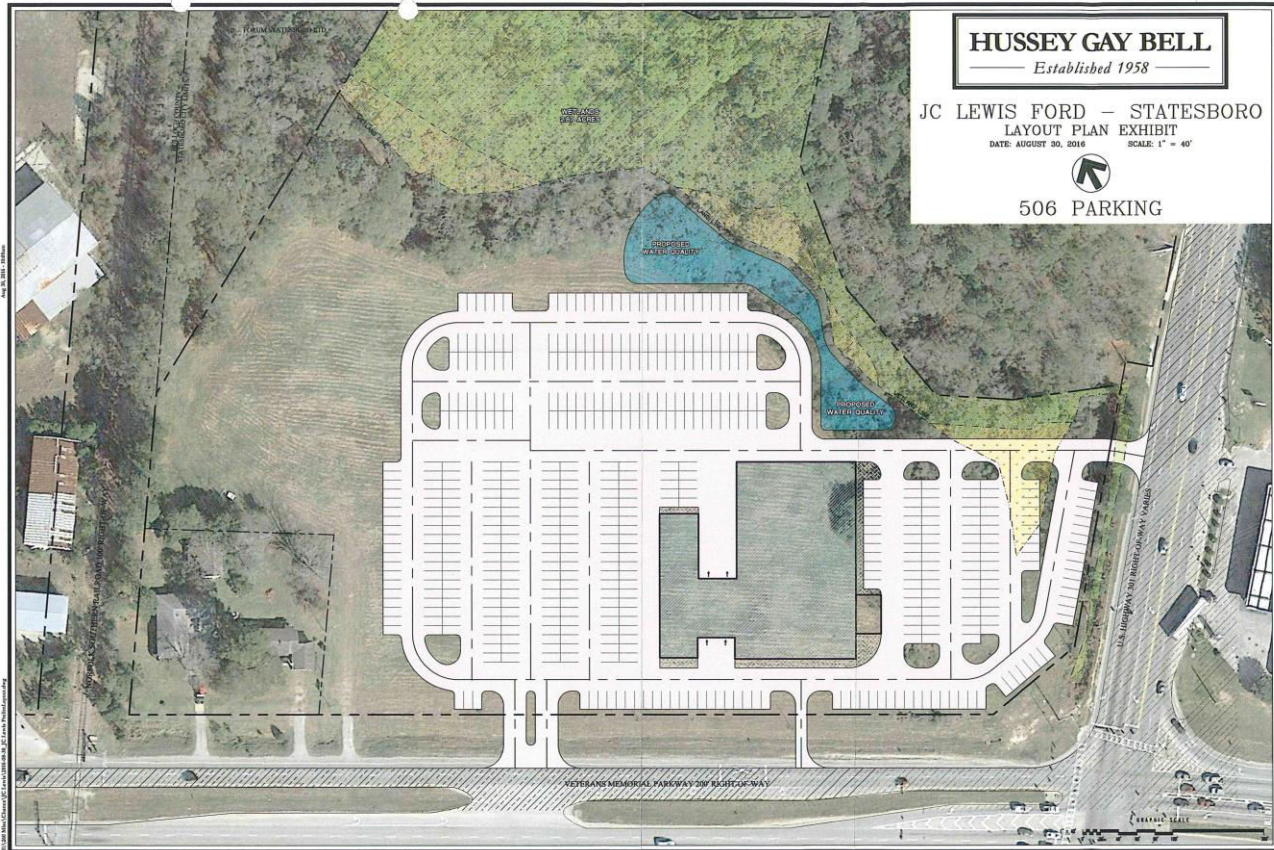


EXHIBIT C: PHOTOS OF SUBJECT SITE AND SURROUNDING AREA



Picture 1 Subject Site Facing North East



Picture 2 Subject Site Facing Veterans Memorial Parkway Depicting Light at Highway 301, Flash Foods and Advance Auto Parts.

EXHIBIT C: PHOTOS OF SUBJECT SITE AND SURROUNDING AREA (CONT)



Picture 3 Photo from Subject Site Depicting Advance Auto Parts and Family Dollar across Veterans Memorial Parkway



Picture 4 Subject Site at Driveway of 115 Continental Road

EXHIBIT C: PHOTOS OF SUBJECT SITE AND SURROUNDING AREA (CONT)



Picture 5 Single-Family Structures at 115 Continental Road Tax Parcel Number MS42 000013 000



Picture 6 Subject Site Showing Property Line at 115 Continental Road

EXHIBIT C: PHOTOS OF SUBJECT SITE AND SURROUNDING AREA (CONT)



Picture 7 Subject Site from Parking Lot of Family Dollar across Veterans Memorial Parkway



Picture 8 Subject Site from Parking Lot of Family Dollar across Veterans Memorial Parkway

EXHIBIT C: PHOTOS OF SUBJECT SITE AND SURROUNDING AREA (CONT)

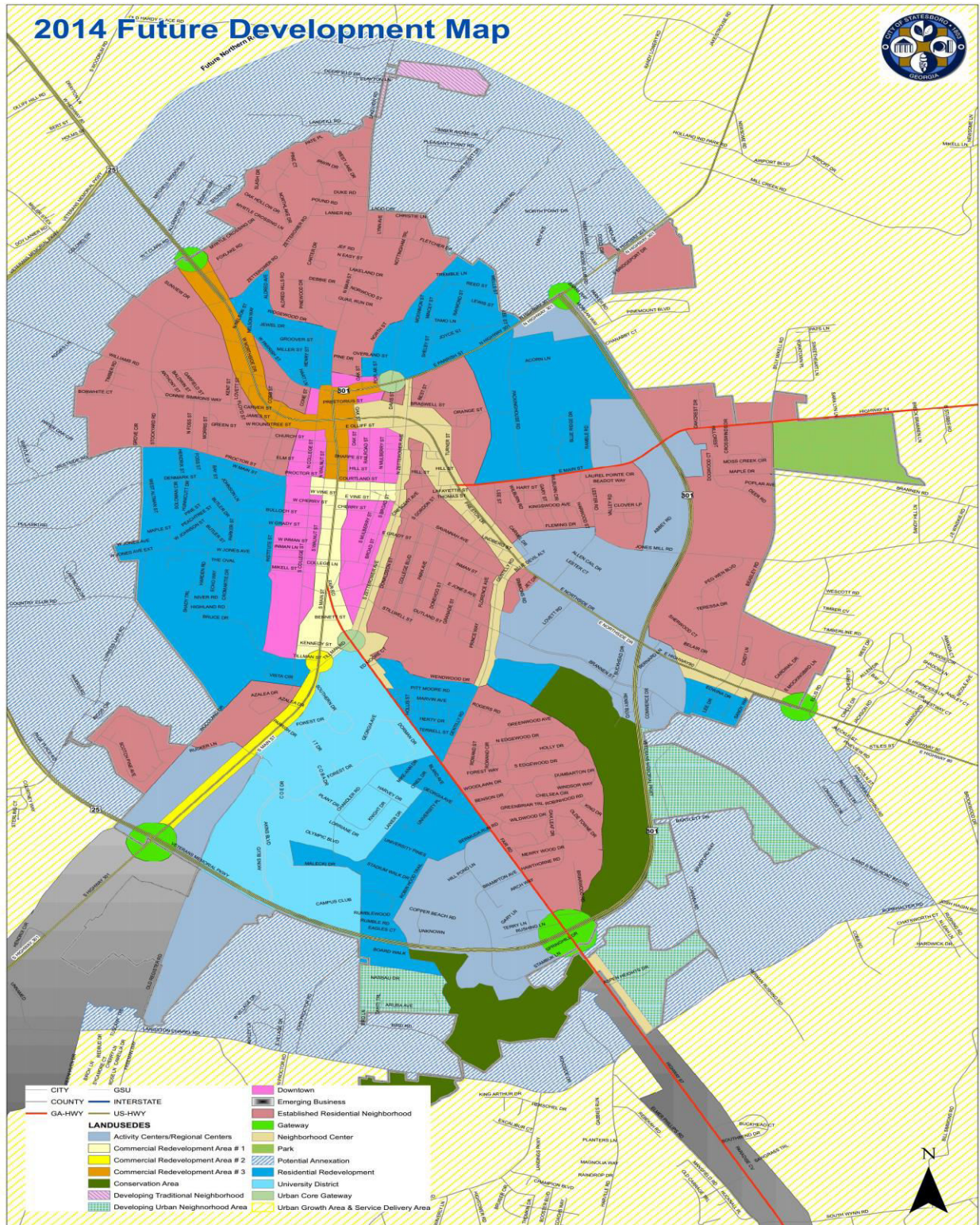


Picture 9 Subject Site from Parking Lot of Family Dollar across Veterans Memorial Parkway



Picture 9 Subject Site from Parking Lot of Flash Foods across Highway 301

EXHIBIT D: CITY OF STATESBORO 2014 FUTURE DEVELOPMENT MAP





City of Statesboro-Department of Planning and Development
DEVELOPMENT SERVICES REPORT

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V 16-09-02
VARIANCE REQUEST
0 S&S RAILROAD BED ROAD

LOCATION: 0 S & S Railroad Bed Road

REQUEST: Variance from Article XV Section 1509(C) Table 3 regarding the maximum allowed height for a monument sign.

APPLICANT: Beacon Place Statesboro, LLC

OWNER(S): Beacon Place Statesboro, LLC

ACRES: 38.6 acres

PARCEL TAX MAP #: 107 000005 007

COUNCIL DISTRICT: District 5 (Chance)



PROPOSAL:

The applicant requests a variance from Article XV Section 1509(C) Table 3 of the *Statesboro Zoning Ordinance* regarding the maximum allowed height for a monument sign. The subject site is zoned PUD/R4 (Planned Unit Development with High Density Residential District Overlay) and located in Sign District 1 (See **Exhibit A** – Location Map).

BACKGROUND:

The subject site was annexed into the City of Statesboro municipal limits in July 2013, pursuant to application number AN 13-03-07, with CR (Commercial Retail), R4 (High Density Residential), R3 (Medium Density Multiple Family Residential) and R10 (Single Family Residential) zoning districts (Tax Parcel Number 107 000005 000). In September 2014, a zoning map amendment was approved changing the zoning from R3, R4, R10 and CR to PUD (Planned Unit Development) with the requirement that the property develop in accordance with the R4 (High Density Residential) zoning district. The conditions placed on the PUD do not address signage at the location.

The applicant's proposal includes one (1) building sign, which meets regulations, and one (1) monument sign, which exceeds the maximum height requirement for Sign District 1.

SURROUNDING LAND USES/ZONING:

	ZONING:	LAND USE:
NORTH:	R25 (Single Family Residential—Bulloch County)	Undeveloped
SOUTH:	R40 (Single Family Residential—Bulloch County)	Single family detached dwelling units
EAST:	R8 (Single Family Residential) and R10 (Single Family Residential)	Undeveloped
WEST	R15 (Single Family Residential)	Educational use

The subject property is located within the PUD/R4 (Planned Unit Development with High Density Residential Overlay) zoning district. Surrounding parcels are undeveloped, single-family residential and educational in nature, and include the Bradford Place Subdivision and the Sallie Zetterower Elementary School. (See **Exhibit A** – Location Map and **Exhibit B**—Site Photos).

COMPREHENSIVE PLAN:

Vision

The subject site lies within the “Developing Urban Neighborhood” character area as identified by the City of Statesboro Future Development Map within the *City of Statesboro Comprehensive Master Plan*. The residential areas in the Developing Urban Neighborhood Areas are located in newly developing or redeveloping areas of the City. The developments in this area will primarily be characterized by urban style housing, likely with clustered densities, green space, and a higher level of resident amenities. Nodal commercial development should also be included to serve the needs of resident. New developments should strive to increase connectivity within developments, to existing streets, and to adjacent undeveloped properties. Sidewalk facilities should be located along major roadways and along neighborhood streets. Pedestrian access should remain a priority. (See **Exhibit C** – Future Development Map).

Some suggested development and implementation strategies for the “Developing Urban Neighborhood” character area include the following:

- Site plans, buildings design, and landscaping that are sensitive to natural features of the sites, including topography and views

Statesboro Comprehensive Master Plan, Community Agenda page 19.

In addition, the Future Development Map and Defining Narrative section of the Comprehensive Plan states the following:

“Statesboro residents have expressed dissatisfaction with a variety of features in the community which clutter streetscapes and obstruct natural landscape features -particularly on major corridors entering and exiting the community. While City leadership has acknowledged the need to comprehensively update land development regulations to holistically address aesthetic concerns, there exist a number of individual topics which can be addressed by ordinance amendments in the short-term. Signs (attached and detached) should be managed by incorporating uniform design features, and by restricting billboards and other off-premise signage which distract from traffic control signage and compete with local and other on-site businesses.”

Statesboro Comprehensive Master Plan, Community Agenda page 11.

ANALYSIS:

- I. **Variance from Article XV Section 1509(C) Table 3: Sign District 1 Dimensional Standards to permit an increase in the maximum height for one (1) monument sign.**

The applicant is requesting a variance from Article XV Section 1509(C) Table 3 regarding the maximum height for one (1) monument sign (See **Exhibit D**—Proposed Signage Plans). The subject site is located in the PUD/R4 (Planned Unit Development with Single Family Residential Overlay) zoning district and is regulated by the dimensional standards of Sign District 1 (See **Exhibit E**—Section 1509(C) Table 3). The ordinance restricts the height of monument signs to six feet. The applicant’s intention is to increase the maximum height of one (1) monument sign from the permissible 6’ to 13’ 8” for the S&S Railroad Bed Road elevation.

Section 1503(G) states that no variances shall be permitted from the terms of Article XV regarding signs in the *Statesboro Zoning Ordinance*. It continues to state that “Specifically, no variances under article XVIII of this ordinance [chapter] shall be applicable to the standards contained within this article.” However, Article XV regarding signs is part of the *Statesboro Zoning Ordinance*, which provides for the award of variances by the City Council from the zoning regulations stating that “approval of a variance must be in the public interest, the spirit of the ordinance must be observed, public safety and welfare secured, and substantial justice done” and **Section 1801 states that the Mayor and Council [should] consider if the following are true in its consideration of a variance request:**

1. **There are special conditions pertaining to the land or structure in question because of its size, shape, topography, or other physical characteristic and that condition is not common to other land or buildings in the general vicinity or in the same zoning district;**
 - There are no special conditions.
2. **The special conditions and circumstances do not result from the actions of the applicant;**
3. **The application of the ordinance to this particular piece of property would create an unnecessary hardship; and**
 - There is no proven hardship.
 -
4. **Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the zoning regulations.**

STAFF RECOMMENDATION:

Staff recommends approval of the variance requested by application V 16-09-02.

EXHIBIT A: LOCATION MAP

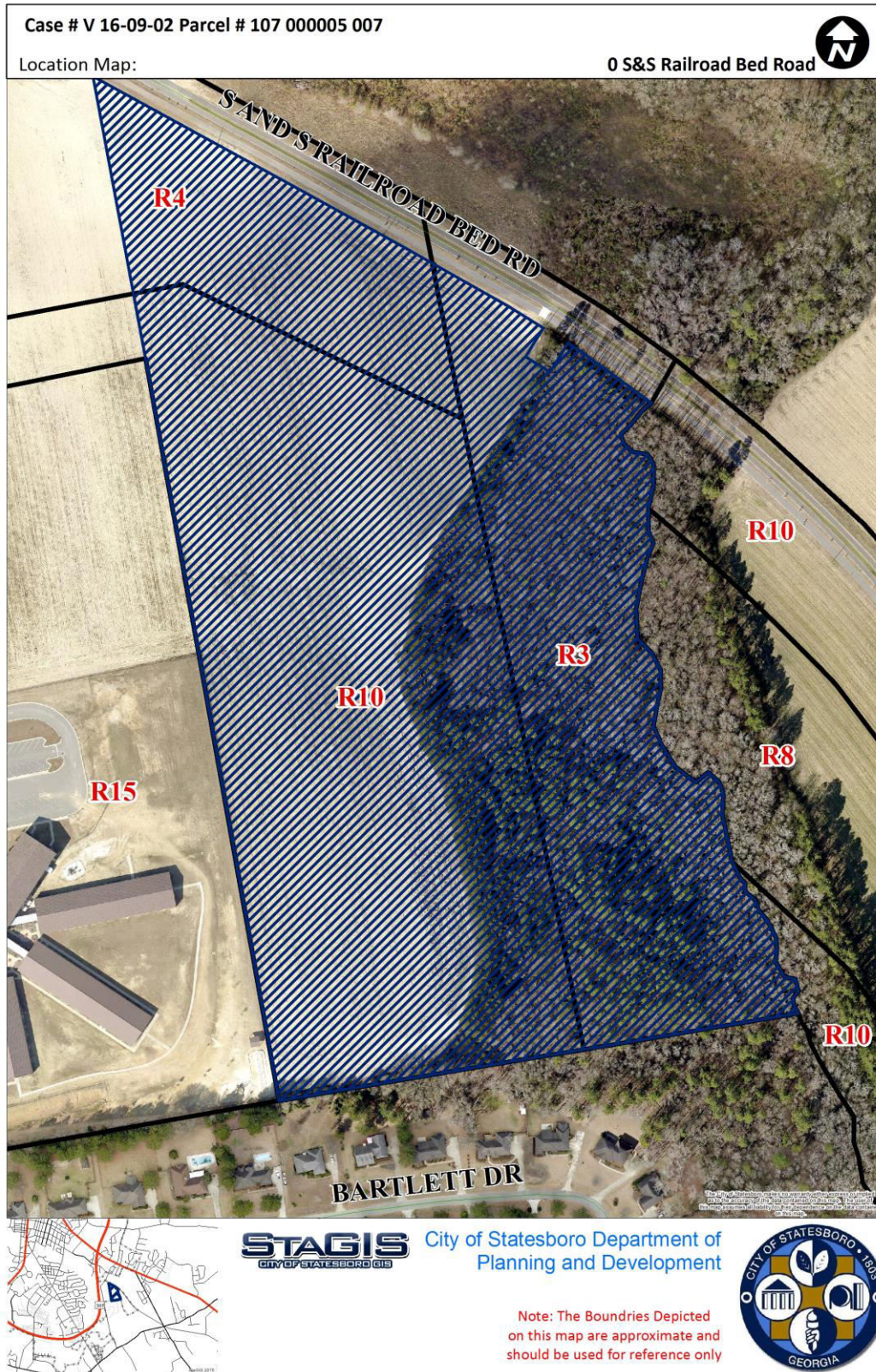


EXHIBIT B: SITE PHOTOS



Picture 1 Proposed Location of Monument Sign Facing S & S Railroad Bed Road



Picture 2 Proposed Location of Monument Sign Facing Beacon Place

EXHIBIT B: SITE PHOTOS



Picture 3 S & S Railroad Bed Road Facing North West at Entrance of Development



Picture 4 S & S Railroad Bed Road Facing South East at Entrance of Development

EXHIBIT C: FUTURE DEVELOPMENT MAP

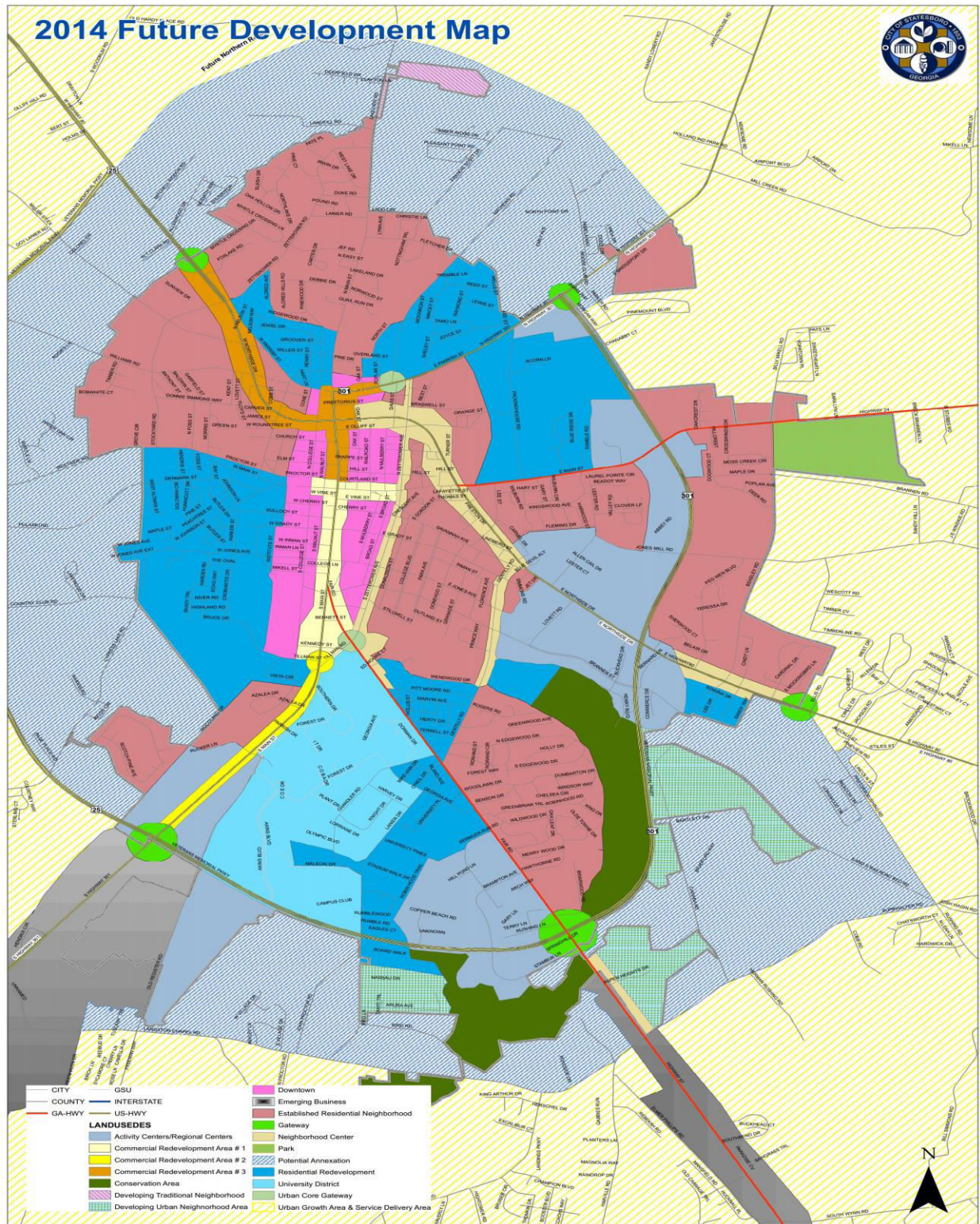


EXHIBIT D: PROPOSED SIGNAGE PLANS



WB
WHITFIELD
SIGNS
 41 Bernard Lang
 Statesboro, GA 30458
 Office 912.681.6338

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Client: [Blank]
 Site: [Blank]
 Property Name & Address: [Blank]
 Location: [Blank]
 Project No.: [Blank]
 Project Contact: [Blank]
 Drawn By: [Blank]
 Date: 7.25.2016
 Revisions: 6.15.2016
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Drawing Status:
 NO EXCEPTIONS NOTED
 EXCEPTIONS NOTED
 REJECTED
 RESUBMIT

Approved/Signatures:
 Approved By: [Blank] Date: [Blank]

Revision/Item:
 #Package 1 of 2

Drawing Type:
 Preliminary
 Production

EXHIBIT D: PROPOSED SIGNAGE PLANS (CONT)

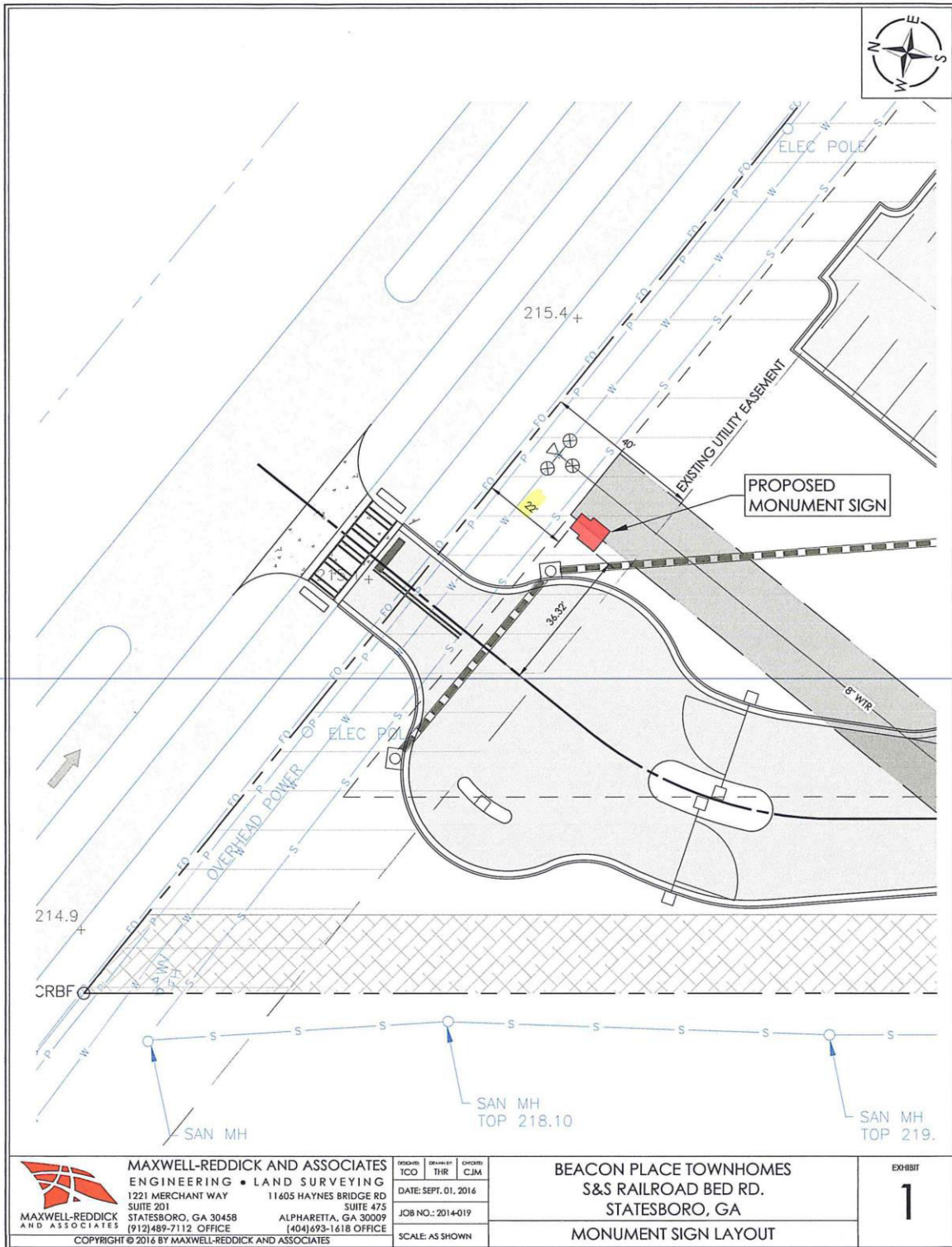
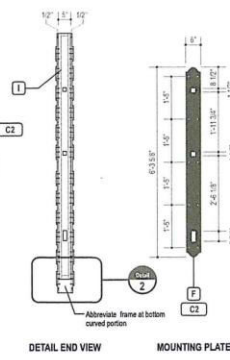
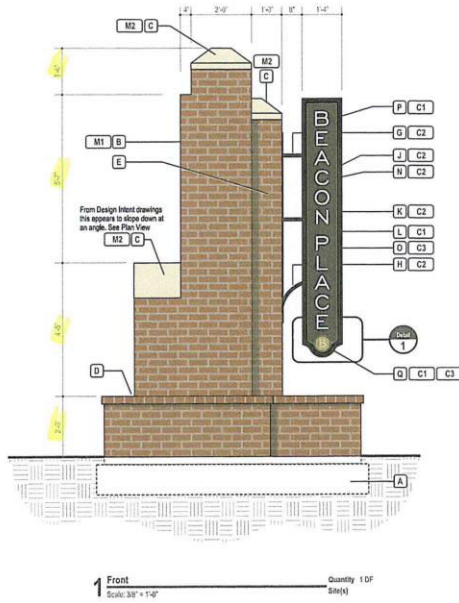


EXHIBIT D: PROPOSED SIGNAGE PLANS (CONT)



Colors & Finishes

Colors shown here may not exactly match manufacturers color chart exactly in actual sample. Check for color swatches or specifications for exact colors prior to production or approve three color samples of color specifications.

C1	White - Semi Gloss (TDS)
C2	Bronze - Semi Gloss (TDS)
C3	Green - Semi Gloss (TDS)
M1	Brick and Mortar (TDS)
M2	Limestone Cap (TDS)

Code Information

Maximum Sign Area Allowed: Not Provided
 Maximum Height: Not Provided
 Designed Sign Area: XX Sq Ft (Based on)
 Maximum Projection: 3A
 Setback from R.O.W.: Not Provided

- Construction Specifications**
- A Masonry Foundation
 - B Brick Masonry Structure
 - C Limestone Cap - From Design Intent drawings this appears to be custom in size and shape
 - D Plaster Area
 - E This Area to have solid fill grout for Anchor Bolt Attachment of Mounting Plate
 - F Mounting Plate - .250" Thick Aluminum Plate Water Jet or CNC Router Cut
 - G Support Arm (Straight) - 1" x 1" Aluminum Square Tube
 - H Support Arm (Curved) - .500" Thick Aluminum Plate Water Jet or CNC Router Cut. Three Ply Lapped Together to achieve 1" x 1" thick appearance
 - I Internal Frame - 1" Aluminum Angle
 - J Cabinet Face - .125" Aluminum with Stud and Plug weld holes.
 - K Outer Raised Border - .500" Thick Alum. Plate Water Jet or CNC Router Cut
 - L Inner Raised Border - .500" Thick Alum. Plate Water Jet or CNC Router Cut Threaded for #10-24 Studs
 - M Cabinet Return - .065 Aluminum
 - N Raised Face Area - .500" Acrylic Panel, Threaded for #10-24 Studs
 - O Masked and Painted Detail Line
 - P Raised Letters - .500" Acrylic FCO, Threaded for #10-24 Studs
 - Q Raised Logo Disc - .500" Acrylic FCO, Threaded for #10-24 Studs, Painted background and Vinyl or Painted graphics applied.
 - R Edge of Cabinet Return to be finished and painted smooth and appear as one piece.

Notes / Exceptions / Exclusions

Field Survey Required - All measurements & site conditions to be field verified prior to production. Patterns may be required for production.



Sign Type A / Monument Sign

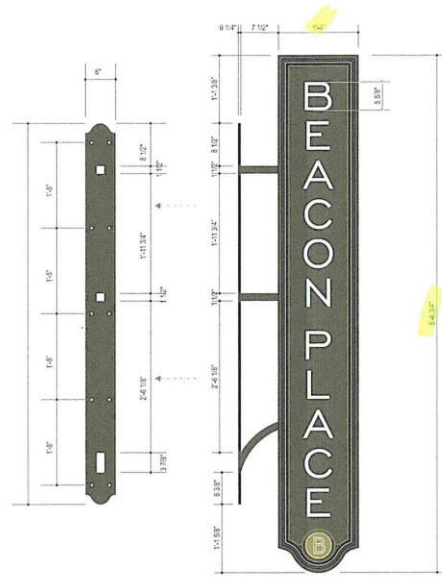
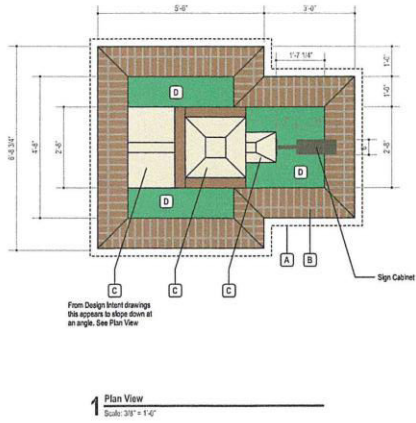


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Client	NA
Project Name & Address	Beacon Place
Project No.	90006
Project Contact	John Whitfield
Drawn By	WJS
Date	7.25.2016
Revisions	8.15.2016
<input type="checkbox"/> NO EXCEPTIONS NOTED <input type="checkbox"/> EXCEPTIONS NOTED <input type="checkbox"/> REJECTED <input type="checkbox"/> RESUBMIT	

Approved/Signer	
Approved By	Site
Material Path	/Package 1 v2
<input type="checkbox"/> Pending <input type="checkbox"/> Production	

EXHIBIT D: PROPOSED SIGNAGE PLANS (CONT)



WB
WHITFIELD
SIGNS
41 Bernard Lane
Statesboro, GA 30458
Office 912.681.6338

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Client
NA

Project Name & Address
Beacon Place

Project No.
8000

Project Contact
Josh Whitfield

Drawn By
WB

Date
7.29.2016

Revisions
8.18.2016

NO EXCEPTIONS NOTED
EXCEPTIONS NOTED
REJECTED
RESUBMIT

Approval/Signatures

Approved By: _____ Date: _____

Filename/Path
/Package 1 v2

Drawing Type
 Preliminary
 Production

Sign Type A / Monument Sign

EXHIBIT C: SECTION 1509(C) TABLE 3

Table 3. Sign District 1 Dimensional Standards

TABLE INSET:

SIGN DISTRICT 1 (As defined in subsection 1509[A.1])	RESIDENCE ON AN INDIVIDUAL LOT*	RESIDENTIAL DEVELOPMENT OR SUBDIVISION**	NONRESIDENTIAL USE
AGGREGATE SIGN AREA***:			
1. Maximum Number of Total Square Feet (SF)*	12 square feet	Varies (All signs within a residential development or subdivision must be constructed of brick, stone, masonry, wood, or equal architectural material)	80 square feet including freestanding and building signs.
FREESTANDING SIGNS****:			
2. Freestanding Sign Maximum Square Feet	4 ½ square feet	40 square feet (Per development entrance sign) 18 square feet (Per sign identifying a development common area or facility)	40 square feet
3. Maximum Height	3 feet	6 feet	8 feet
4. Setback Requirements	5 feet	5 feet*****	5 feet
5. Number of Signs Allowed	One	Two (2) sign structures per entrance to the development or subdivision.*****	One sign structure per road frontage not to exceed the maximum allowable square footage & a total of two (2) such signs
BUILDING SIGNS:			
1. Maximum Number of Total Square Feet	N/A	18 square feet	40 square feet
2. Maximum Height	N/A (Window signs only)	Building Elevation	Building Elevation
3. Number of Building Signs Allowed	N/A	One per building serving as the principal structure in a common area or facility. §§§	One per building elevation with street frontage. §§§
<p><i>*Per the purposes of this article, "residences on an individual lot" refers to any individual lot principally serving as a single-family residential dwelling [attached, detached, townhouse, etc.] or a duplex.</i></p> <p><i>**Per the purposes of this article signage related to a "residential development or subdivision" includes all common entry signage into the development, and all signage related to common areas and facilities.</i></p> <p><i>***As provided in Section 1501 and Table 2 herein, "aggregate sign area" includes all freestanding or building signs regardless of whether or not a permit for a particular type of sign is required.</i></p> <p><i>****Limited to monument and standard informational signs where permitted by Table 2. Billboards and stanchion signs prohibited as provided in Table 2 herein.</i></p> <p><i>*****Unless incorporated into the street right-of-way as part of landscaped entryway feature – in which case only one (1) sign structure may be located at the entrance, and such sign placement, and maintenance agreements, shall have been approved as part of the major subdivision approval process established in Appendix B of the Statesboro Code of Ordinances (Statesboro Subdivision Regulations).</i></p> <p><i>§§§ Two (2) per building elevation where one (1) sign is in the form of a canopy/awning, and where the cumulative square footage of both does not exceed the "maximum number of total square feet" for building signs.</i></p> <p><i>(NOTE: Illumination of building or freestanding signs is prohibited on any individual lot principally serving as single-family residential dwelling [attached, detached, townhouse, etc.] or a duplex. Land uses within Sign District 1 which may otherwise utilize illumination, shall not incorporate internal illumination.)</i></p>			



City of Statesboro-Department of Planning and Development **DEVELOPMENT SERVICES REPORT**

P.O. Box 348
Statesboro, Georgia 30458

(912) 764-0630
(912) 764-0664 (Fax)

V 16-10-06 VARIANCE REQUEST 0 CAWANA ROAD

LOCATION: 0 Cawana Road (831 Cawana Road)

REQUEST: Variance from Article XV Section 1509(C) Table 3 regarding the maximum number of total square feet for building signs and a monument sign and the maximum aggregate sign area for Sign District 1.

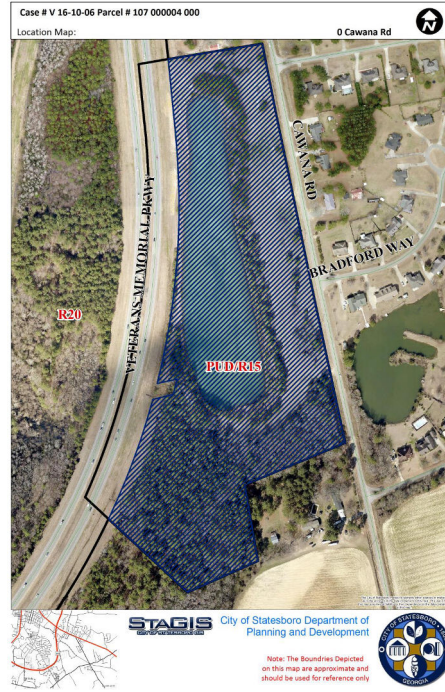
APPLICANT: Compassion Christian Church

OWNER(S): Compassion Christian Church

ACRES: 25.91 acres

PARCEL TAX MAP #: 107 000004 000

COUNCIL DISTRICT: District 5 (Chance)



PROPOSAL:

The applicant requests a variance from Article XV Section 1509(C) Table 3 of the *Statesboro Zoning Ordinance* regarding the maximum number of total square feet allowed for two (2) building signs and one (1) monument signs. In addition, the applicant is requesting a variance regarding the maximum aggregate sign area for four (4) signs. The subject site is zoned PUD/R15 (Planned Unit Development with Single Family Residential Overlay) and located in Sign District 1 (See **Exhibit A** – Location Map).

BACKGROUND:

The subject site was annexed into the City of Statesboro municipal limits in May 2007 with a PUD (Planned Unit Development) zoning designation for the purpose of permitting the construction of 45 single-family residences. Conditions included the R15 (Single Family Residential) zoning district overlay, minimum dwelling size requirements and density conditions; signage in the district was not addressed. In August 2007, a zoning map amendment requesting changes to the request approved in May 2007 was denied. Compassion Christian Church purchased the property and broke ground on January 25, 2015.

The applicant's proposal includes two (2) building signs and two (2) monument signs. The subject site is located in Sign District 1, which restricts maximum aggregate sign area to 160 square feet, maximum square footage for a building sign to 40 square feet and maximum square footage for a monument sign to 40 square feet for a non-residential use. Three (3) of the applicant's four (4) signs exceed the maximum square footage and all signs combined exceed maximum aggregate sign area.

SURROUNDING LAND USES/ZONING:

	ZONING:	LAND USE:
NORTH:	R15 (Single Family Residential)	Educational use
SOUTH:	R40 (Single Family Residential—Bulloch County)	Undeveloped
EAST:	R40 (Single Family Residential—Bulloch County)	Single-family detached dwelling units
WEST	R20 (Single Family Residential)	Undeveloped

The subject property is located within the PUD/R15 (Planned Unit Development with Single Family Residential Overlay) zoning district. Surrounding parcels are undeveloped, single-family residential and educational in nature, and include the Bradford Place Subdivision and the Sallie Zetterower Elementary School. (See **Exhibit A** – Location Map, **Exhibit B**—Site and Surrounding Area Photos and **Exhibit C**—Proposed Signage Plans).

COMPREHENSIVE PLAN:

Vision

The subject site lies within the “Developing Urban Neighborhood” character area as identified by the City of Statesboro Future Development Map within the *City of Statesboro Comprehensive Master Plan*. The residential areas in the Developing Urban Neighborhood Areas are located in newly developing or redeveloping areas of the City. The developments in this area will primarily be characterized by urban style housing, likely with clustered densities, green space, and a higher level of resident amenities. Nodal commercial development should also be included to serve the needs of resident. New developments should strive to increase connectivity within developments, to existing streets, and to adjacent undeveloped properties. Sidewalk facilities should be located along major roadways and along neighborhood streets. Pedestrian access should remain a priority. (See **Exhibit C** – Future Development Map).

Some suggested development and implementation strategies for the “Developing Urban Neighborhood” character area include the following:

- Site plans, buildings design, and landscaping that are sensitive to natural features of the sites, including topography and views

Statesboro Comprehensive Master Plan, Community Agenda page 19.

In addition, the Future Development Map and Defining Narrative section of the Comprehensive Plan states the following:

“Statesboro residents have expressed dissatisfaction with a variety of features in the community which clutter streetscapes and obstruct natural landscape features -particularly on major corridors entering and exiting the community. While City leadership has acknowledged the need to comprehensively update land development regulations to holistically address aesthetic concerns, there exist a number of individual topics which can be addressed by ordinance amendments in the short-term. Signs (attached and detached) should be managed by incorporating uniform design features, and by restricting billboards and other off-premise signage which distract from traffic control signage and compete with local and other on-site businesses.”

Statesboro Comprehensive Master Plan, Community Agenda page 11.

ANALYSIS:

- I. **Variance from Article XV Section 1509(C) Table 3: Sign District 1 Dimensional Standards to permit an increase in the maximum number of total square feet for two (2) building signs, one (1) monument sign and maximum aggregate sign area for all signs.**

The applicant is requesting a variance from Article XV Section 1509(C) Table 3 regarding the maximum number of total square feet for two (2) building signs and one (1) monument sign and the maximum aggregate sign area for all signs. The subject site is located in the PUD/R15 (Planned Unit Development with Single Family Residential Overlay) zoning district and is regulated by the dimensional standards of Sign District 1 (See **Exhibit D**—Section 1509(C) Table 3).

The ordinance is more restrictive for signage located in residential districts. Despite this, the ordinance takes into consideration signage for a non-residential use, such as a church. Section 1501(1) of the Statesboro Zoning Ordinance

defines "Aggregate Sign Area" as "the combined sign area of all signs regardless of whether or not the signs require a permit, or where specified, all signs of a particular category, on a single parcel".

For non-residential uses on an individual lot within Sign District 1, the maximum aggregate sign area for all signs (combined freestanding and building) on the property is 160 square feet. In addition, Section 1509 (C)(4) states that a lot with two (2) frontages is permitted the sign area for each street frontage. The applicant's structure fronts Cawana Road and Veterans Memorial Parkway. Please note that the maximum allowable aggregate sign area does not allow a parcel to maximize the available wall signage and freestanding signage available for each parcel, but rather forces an allocation between the two.

The applicant's intention is to increase the maximum number of total square feet for one (1) building sign from the permissible 40 square feet to 114.75 square feet for the Cawana Road elevation and from the permissible 40 square feet to 73.23 square feet for the Veterans Memorial Parkway elevation. In addition, the applicant proposes to exceed the 40 square feet maximum for one (1) monument sign by 46 square feet. Finally, the applicant's proposal exceeds the maximum aggregate sign area of 160 square feet (due to double frontage) by 136.49 square feet for a total aggregate of 296.49 square feet.

Section 1503(G) states that no variances shall be permitted from the terms of Article XV regarding signs in the *Statesboro Zoning Ordinance*. It continues to state that "Specifically, no variances under article XVIII of this ordinance [chapter] shall be applicable to the standards contained within this article." However, Article XV regarding signs is part of the *Statesboro Zoning Ordinance*, which provides for the award of variances by the City Council from the zoning regulations stating that "approval of a variance must be in the public interest, the spirit of the ordinance must be observed, public safety and welfare secured, and substantial justice done" and **Section 1801 states that the Mayor and Council [should] consider if the following are true in its consideration of a variance request:**

- 1. There are special conditions pertaining to the land or structure in question because of its size, shape, topography, or other physical characteristic and that condition is not common to other land or buildings in the general vicinity or in the same zoning district;**
 - There are no special conditions.
- 2. The special conditions and circumstances do not result from the actions of the applicant;**
- 3. The application of the ordinance to this particular piece of property would create an unnecessary hardship; and**
 - There is no proven hardship.
- 4. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the zoning regulations.**

STAFF RECOMMENDATION:

Staff recommends approval of the variance requested by application V 16-10-06. The general character of the area surrounding the subject site is similar to a commercial location that would be governed by Sign District 2.

EXHIBIT A: LOCATION MAP



City of Statesboro Department of Planning and Development

Note: The Boundries Depicted on this map are approximate and should be used for reference only



EXHIBIT B: SITE AND SURROUNDING AREA PHOTOS



Picture 1 Installed Building Sign at 73.35 Square Feet



Picture 2 Bradford Way Subdivision across Cawana Road Facing North

EXHIBIT B: SITE AND SURROUNDING AREA PHOTOS (CONT)

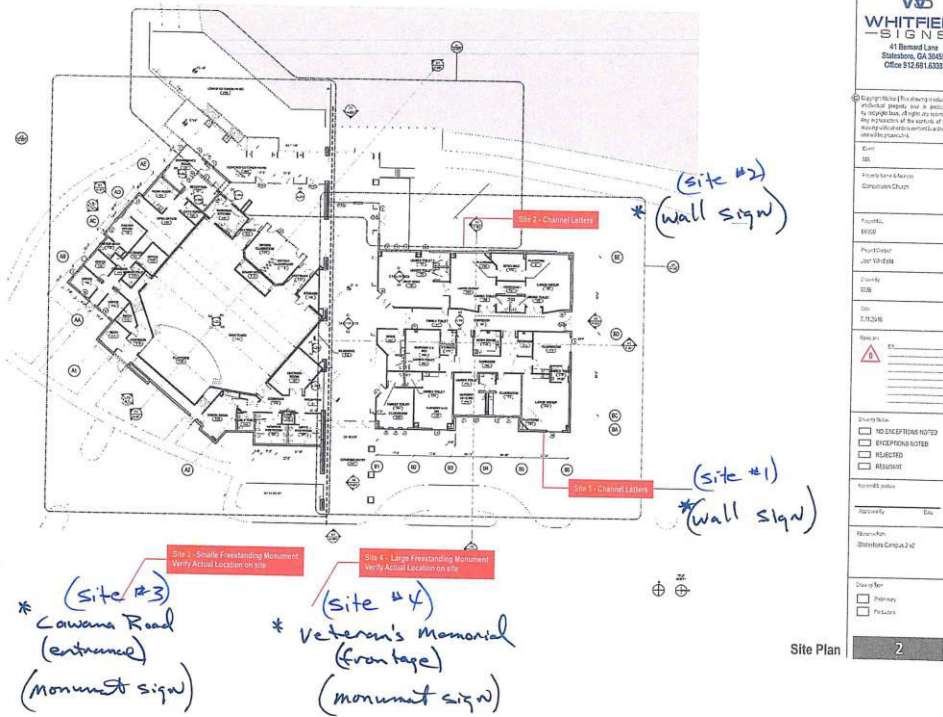


Picture 3 Bradford Way Subdivision across Cawana Road Facing East



Picture 4 Undeveloped Land across Cawana Road Facing South

EXHIBIT C: PROPOSED SIGNAGE PLANS



Picture 5 Signage Site Plan



Wall Sign (#1) - Cawana Road (frontage)
site #1

Colors & Finishes
Colors shown here are for informational purposes only and are not a guarantee of actual color. Colors shown here are for informational purposes only and are not a guarantee of actual color. Please refer to the manufacturer's specifications for color and finish information.

Code Information
Sign Area: 114.75 Sq Ft

Electrical Specifications & Notes
Final Electrical Notes by EY 01/08/16
Electrical Requirements: 120 volt 15 amp - Dedicated Branch Circuit
Circuit Breaker: 15 Amp 120 Volt GFCI
Wire Size: 12 AWG THHN 125' or less
Conductor Type: Single conductor, non-metallic sheathed

Notes / Exceptions / Exclusions
Verify Access to Network / Power Supplies
Verify Hardware Used.

WHITFIELD SIGNS
41 Diamond Lane
Statesboro, GA 30458
Office 912.641.6338

Project Name & Address
Compassion Church

Project No.
0000

Project Contact
John Woodfield

Drawn By
JWB

Date
1/11/2016

Revision
1.28.2016

Drawing Date
 NO EXCEPTIONS NOTED
 EXCEPTIONS NOTED
 REVISIONS
 RESUBMIT

Approved Signature

Approved By

Date

Hardware
Statesboro Campus 2 x1

Drawing Date
 Preliminary
 Final

Site 2 / Elevation **7**

114.75 sq ft

Picture 6 Wall Sign #1 Cawana Road Elevation (114.75 Square Feet)

EXHIBIT C: PROPOSED SIGNAGE PLANS (CONT) P

1 Elevation
Scale: 1/8" = 1'-0"

Wall Sign (#2) - Veterans Memorial (frontage)

Site #2

73.35 sq ft

Site 1 / Elevation 4

Picture 7 Wall Sign #2 Veterans Memorial Parkway Frontage (73.35 Square Feet)

2 Top
Scale: 1/8" = 1'-0"

3 Front
Scale: 1/8" = 1'-0"

Quantity: 1 SF

* monument sign (#1)

Site #4

Veterans Memorial (frontage)

86 sq ft

Site 4 / Large Freestanding Monument 9

Picture 7 Monument Sign #1 Veterans Memorial Parkway Frontage (86 Square Feet)

EXHIBIT C: PROPOSED SIGNAGE PLANS (CONT)

Colors & Finishes
 Colors shown here may not exactly match manufacturer color chart match or actual sample. Client to refer to product samples or specifications for custom colors prior to production or obtain three color swatches in color specifications.

Code Information
 Maximum Sign Area Allowed: 300 Sq Ft
 Maximum Height: Unrestricted
 Designed Sign Area: 22.51 Sq Ft (based on) [red box]
 Maximum Permitted: Unrestricted
 Setback from ROW: Unrestricted

Electrical Specifications & Notes
 FINAL ELECTRICAL WORK PER CITY ORDINANCE
 Electrical Requirements: 120 volt 60 Hz - Double-Ended Branch Circuit(s)
 Circuit: 15 Amps (20 Amps for LED)
 Wire Size: 12 AWG (based on) [red box]
 Conductor: Single conductor continuous operation
 Insulated & bonded in accordance with UL Standard for Electric Signs, installed using UL listed parts & methods of installation in accordance with Article 600 of the NEC & other applicable local codes. This includes proper grounding & bonding.
 This signed product may require Fluorescent, Neon, HID lamps or components that use Mercury or other. Disposal of these lamps & components according to the laws of the authority having jurisdiction.
 Location of Service Disconnect & Labels: [red box] Location of Verbs

116 MPH Wind Load / 35 PSF Construction Specifications

- A Concrete Pier Foundation and Steel Column TBD
- B Electrical Supply - Coordinate Routing of Conduit with Client
- C Aluminum Fabricated Cabinet Construction with Smooth Painted Finish, Frontface Illuminated by LED or Incandescent HID Lamps.
- D Rigid Aluminum Face backed by Acrylic
- E Aluminum Fabricated Base with Smooth Painted Finish
- F Address Numerals - .007" thick flat cut out acrylic stud mounted flush to base.

Notes / Exceptions / Exclusions
GEORGIA811
 Georgia 811
 Call Before You Dig

Whitfield Signs
 41 Bernard Lane
 Marietta, GA 30068
 Office 912.851.6338

Site 3 / Small Freestanding Monument

Monument Sign (#2)
 site #3
 Cawana Road (frontage)

Picture 8 Monument Sign #2 Cawana Road Frontage (22.51 Square Feet) Contributes to Exceeding Aggregate

EXHIBIT D: SECTION 1509(C) TABLE 3

Table 3. Sign District 1 Dimensional Standards

TABLE INSET:

SIGN DISTRICT 1 (As defined in subsection 1509[A.1])	RESIDENCE ON AN INDIVIDUAL LOT*	RESIDENTIAL DEVELOPMENT OR SUBDIVISION**	NONRESIDENTIAL USE
AGGREGATE SIGN AREA***:			
1. Maximum Number of Total Square Feet (SF)*	12 square feet	Varies (All signs within a residential development or subdivision must be constructed of brick, stone, masonry, wood, or equal architectural material)	80 square feet including freestanding and building signs.
FREESTANDING SIGNS****:			
2. Freestanding Sign Maximum Square Feet	4 ½ square feet	40 square feet (Per development entrance sign) 18 square feet (Per sign identifying a development common area or facility)	40 square feet
3. Maximum Height	3 feet	6 feet	8 feet
4. Setback Requirements	5 feet	5 feet*****	5 feet
5. Number of Signs Allowed	One	Two (2) sign structures per entrance to the development or subdivision.*****	One sign structure per road frontage not to exceed the maximum allowable square footage & a total of two (2) such signs
BUILDING SIGNS:			
1. Maximum Number of Total Square Feet	N/A	18 square feet	40 square feet
2. Maximum Height	N/A (Window signs only)	Building Elevation	Building Elevation
3. Number of Building Signs Allowed	N/A	One per building serving as the principal structure in a common area or facility. §§§	One per building elevation with street frontage. §§§
<p><i>*Per the purposes of this article, "residences on an individual lot" refers to any individual lot principally serving as a single-family residential dwelling [attached, detached, townhouse, etc.] or a duplex.</i></p> <p><i>**Per the purposes of this article signage related to a "residential development or subdivision" includes all common entry signage into the development, and all signage related to common areas and facilities.</i></p> <p><i>***As provided in Section 1501 and Table 2 herein, "aggregate sign area" includes all freestanding or building signs regardless of whether or not a permit for a particular type of sign is required.</i></p> <p><i>****Limited to monument and standard informational signs where permitted by Table 2. Billboards and stanchion signs prohibited as provided in Table 2 herein.</i></p> <p><i>*****Unless incorporated into the street right-of-way as part of landscaped entryway feature – in which case only one (1) sign structure may be located at the entrance, and such sign placement, and maintenance agreements, shall have been approved as part of the major subdivision approval process established in Appendix B of the Statesboro Code of Ordinances (Statesboro Subdivision Regulations).</i></p> <p><i>§§§ Two (2) per building elevation where one (1) sign is in the form of a canopy/awning, and where the cumulative square footage of both does not exceed the "maximum number of total square feet" for building signs.</i></p> <p><i>(NOTE: Illumination of building or freestanding signs is prohibited on any individual lot principally serving as single-family residential dwelling [attached, detached, townhouse, etc.] or a duplex. Land uses within Sign District 1 which may otherwise utilize illumination, shall not incorporate internal illumination.)</i></p>			

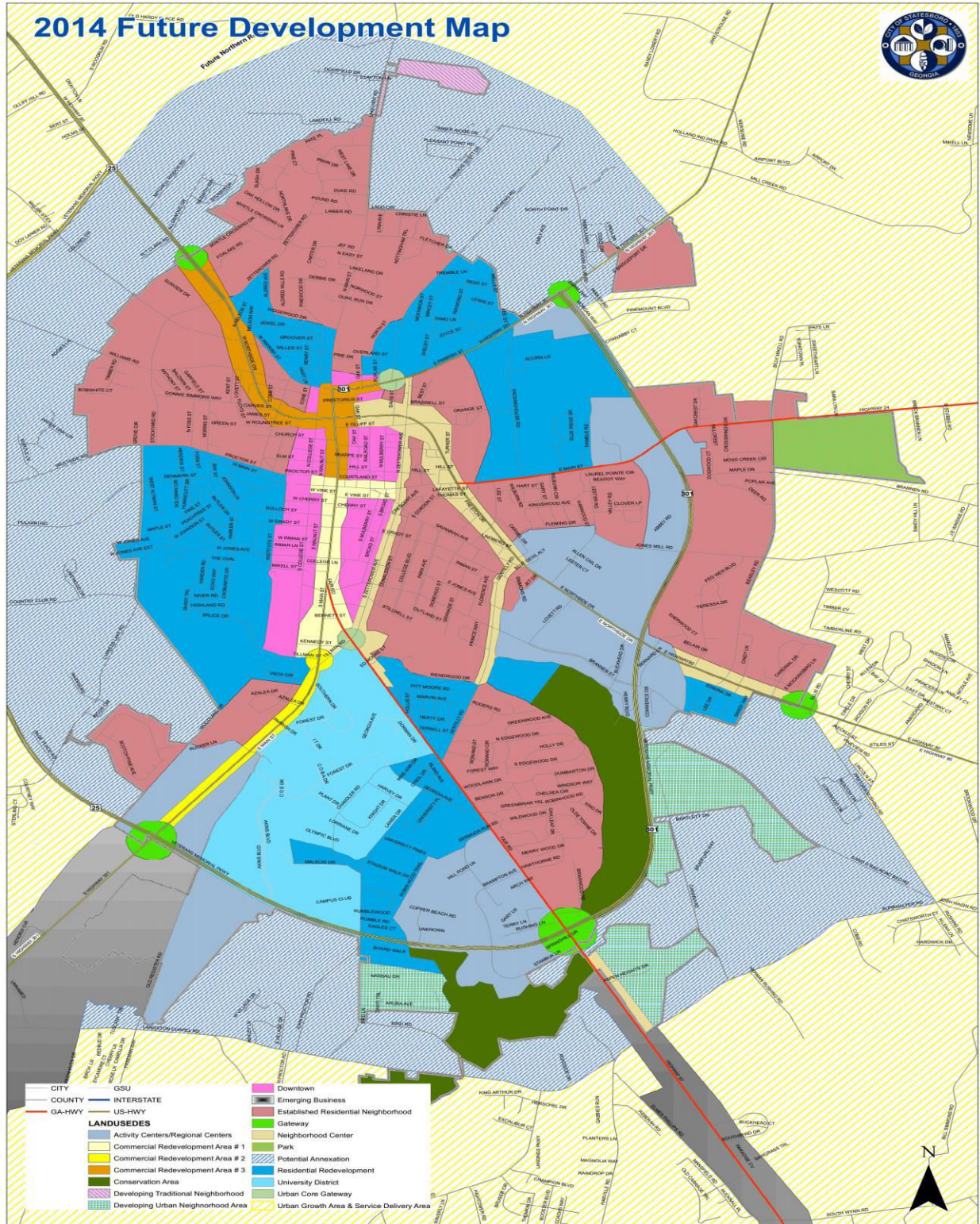
EXHIBIT E: SECTION 1509(C) TABLE 4

Table 4. Sign District 2 Dimensional Standards

TABLE INSET:

SIGN DISTRICT 2 (As defined in subsection 1509[A.2])	SIGN FOR AN INDIVIDUAL ESTABLISHMENTS ON AN INDIVIDUAL LOT	MAJOR SIGN FOR PLANNED COMMERCIAL OR INDUSTRIAL CENTER OR DEVELOPMENT	INDIVIDUAL ESTABLISHMENTS, SHOPS, ETC., WITHIN A PLANNED COMMERCIAL OR INDUSTRIAL CENTER OR DEVELOPMENT
AGGREGATE SIGN AREA*:			
1. Maximum Number of Total Square Feet (SF)*	250 square feet including freestanding and building sign	Size is based upon the overall floor space of the center as follows: 0-50,000 sf = 200 sf > 50,000 sf = 350 sf	Not applicable
FREESTANDING SIGNS**:			
2. Freestanding Sign Maximum Square Feet	150 square feet	Varies per overall floor space of the center (See "Aggregate Sign Area" herein)	Not applicable
3. Maximum Height	20' on St. or Fed. Frontage 8' on Local Frontage	25' on St. or Fed. Frontage 15' on Local Frontage	Not applicable
4. Setback Requirements	5 feet from property line	5 feet from property line	Not applicable
5. Number of Signs Allowed*	One sign structure per road frontage not to exceed the maximum allowable square footage & a total of two (2) such signs	One sign structure per road frontage not to exceed the maximum allowable square footage & a total of two (2) such signs	Not allowed
BUILDING SIGNS:			
1. Maximum Number of Total Square Feet	125 square feet	60 square feet	The greater of 60 sf or 5% of wall areas, allotted to the individual establishment
2. Maximum Height	Building elevation	Building Elevation	Building Elevation
3. Number of Building Signs Allowed***	One per elevation	One sign per common entrance	One per building elevation per tenant
<p><i>*As provided in Section 1501 and Table 2 herein, "aggregate sign area" includes all freestanding or building signs regardless of whether or not a permit for a particular type of sign is required. Where a billboard is to be located on a lot in accordance with the provisions of section 1511 herein, the aggregate sign area shall not exceed the combined maximum number of total square feet permitted for the billboard, as established in subsection 1511(B), and the building sign.</i></p> <p><i>**Excludes billboards. Billboards shall be subject to the provisions of section 1511 of this article.</i></p> <p><i>*** Two (2) per building elevation where one (1) sign is in the form of a canopy/awning, and where the cumulative square footage of both does not exceed the "maximum number of total square feet" for building signs.</i></p>			

EXHIBIT F: FUTURE DEVELOPMENT MAP





City of Statesboro-Department of Planning and Development
DEVELOPMENT SERVICES REPORT

P.O. Box 348
 Statesboro, Georgia 30458

(912) 764-0630
 (912) 764-0664 (Fax)

V 16-11-01 & RZ 16-10-05
VARIANCE AND ZONING MAP AMENDMENT REQUESTS
453 South College Street

LOCATION: 453 South College Street

REQUEST: Rezone from R20 (Single Family Residential) zoning district to R4 (High Density Residential District) zoning district to permit the construction of five (5) one-bedroom cottages, variance from Article XXII Section 2203.1(A) regarding minimum size dwelling and variance from the minimum required rear yard setback in an R3 (Medium Density Multiple Family Residential) zoning district.

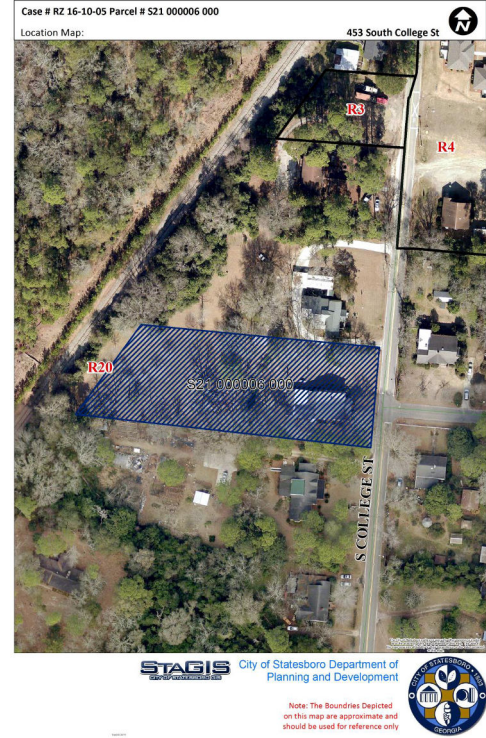
APPLICANT: John Ray Hendley

OWNER(S): Sherian E. Sylvester

ACRES: 1.19 acres

PARCEL TAX MAP #: S21 000006 000

COUNCIL DISTRICT: 2 (Jones)



PROPOSAL:

The applicant is requesting a zoning map amendment for a 1.19 acre parcel located at 453 South College Street from R20 (Single Family Residential) zoning district to R4 (High Density Residential District) zoning district. The applicant has immediate plans to construct five (5) one-bedroom cottages (See **Exhibit A** – Location Map, **Exhibit B** – Proposed Site Plan).

BACKGROUND:

The subject site has an existing single-family residence, which will be retained, renovated and rented. The applicant is requesting a zoning map amendment because the proposed project is not permissible by right in the R20 (Single Family Residential) zoning district due to the addition of five (5) one-bedroom cottages. The R20 zoning district restricts parcels to one (1) single-family structure and accessory uses only.

SURROUNDING ZONING/LAND USES:

	ZONING:	LAND USE:
NORTH:	R20 (Single Family Residential)	Single-family detached dwellings
SOUTH:	R20 (Single Family Residential)	Single-family detached dwellings
EAST:	R20 (Single Family Residential)	Single-family detached dwellings
WEST	R20 (Single Family Residential)	Undeveloped

Properties to the north, south and east are predominantly residential containing single-family detached dwelling units. Property to the west is undeveloped. The subject site is one block west of the South Main Street corridor and is close to several restaurants, hotels and retail establishments, including Gnat’s Landing, CVS Pharmacy and the Waffle House (See **EXHIBIT C**—Photos of the Subject Site).

COMPREHENSIVE PLAN:

The subject site lies within the “Urban Core/Downtown” character area as identified by the City of Statesboro 2014 Future Development Map (See **EXHIBIT D**—2014 Future Development Map) within the *City of Statesboro Updated 2014 Comprehensive Plan*—which promotes encourages the construction of multi-family residential uses in the area.

Vision:

Downtown is the historic core of the city and should remain the activity and cultural hub of the region. In the Urban Core, traditional development patterns of buildings along the sidewalk and a lively streetscape should be respected and promoted. Historic buildings should be protected from demolition or inappropriate restoration which can degrade the architectural details of the structures. Additional residential opportunities, especially in the form of lofts or other residential over retail, should be promoted. Street-level uses should be reserved for retail, entertainment, or similar high activity uses.

Appropriate Land Uses

- Range of housing styles & price points
- Multifamily Residential
- Loft, mixed use, and urban residential, including small lot single-family residential along secondary streets

Suggested Development & Implementation Strategies

- Historic structures should be preserved or adaptively reused wherever possible.
- New development should respect historic context of building mass, height and setbacks.
- New developments that contain a mix of residential, commercial and/or community facilities at small enough scale and proximity to encourage walking between destinations should be encouraged.
- Encourage mixed-use infill and redevelopment. Uses should typically transition across the rear of properties instead of across the street to soften the transition and maintain appropriate streetscapes.

Statesboro Updated 2015 Comprehensive Plan, Community Agenda page 14.

COMMUNITY FACILITIES AND TRANSPORTATION:

The subject property will require the extension of city utilities. Provision of sanitation and public safety is already in place. No significant impact is expected on community facilities or services as a result of this request.

ENVIRONMENTAL:

The subject property does not contain wetlands and is not located in a special flood hazard area. There is no expected environmental impact associated with this request.

ANALYSIS:

I. Whether a zoning map amendment requested by application RZ 16-10-05 should be granted to allow the construction of five (5) one-bedroom cottages.

The request to rezone the subject property from the R20 (Single Family Residential) zoning district to the R4 (High Density Residential District) zoning district should be considered in light of the standards for determination of zoning map amendments given in Section 2007 of the *Statesboro Zoning Ordinance*; the vision and community policies articulated within the *Statesboro Comprehensive Plan* and the *2035 Bulloch County/City of Statesboro Long Range Transportation Plan* and the potential for the property to develop and be utilized in conformance with the requirements of the proposed R4 (High Density Residential District) zoning district as set forth in the *Statesboro Zoning Ordinance*.

Current Zoning Compared to Requested Zoning

R20 – Single family districts allow for the development of single-family detached dwelling units with a minimum lot area of 20,000 square feet.

R4 – High Density Residential District encourage the development of higher density residential purposes, including apartments, single-family detached dwellings, two-family twins, two-family duplexes and accessory uses.

Section 2007 of the Statesboro Zoning Ordinance provides eight (8) standards for the Mayor and City Council to consider “in making its determination” regarding a zoning map amendment in “balancing the promotions of the public health, safety, morality (morals), and general welfare against the right of unrestricted use of property.” Those standards are as follows:

- (1) Existing uses and zoning or (of) property nearby;
- (2) The extent to which property values are diminished by the particular zoning restrictions.
- (3) The extent to which the description of property values of the property owner promotes the health, safety, morals or general welfare of the public.
- (4) The relative gain to the public, as compared to the hardship imposed upon the property owner.
- (5) The suitability of the subject property for the zoned purposes.
- (6) The length of time the property has been vacant as zoned, considered in the context of land development in the area in the vicinity of the property.
- (7) The extent the proposed change would impact the following: population density in the area; community facilities; living conditions in the area; traffic patterns and congestion; environmental aspects; existing and future land use patterns; property values in adjacent areas; and
- (8) Consistency with other governmental land use, transportation, and development plans for the community.

II. Whether a variance requested by application V 16-11-01 for relief from Article XXII Section 2203.1(A) regarding minimum size dwelling square footage should be granted.

At a Right Start meeting held October 13, 2016, the applicant was informed that utilities must be installed to the new single-family dwellings proposed to be constructed at the rear of the property. The applicant was advised that burying the utilities down the middle of the property would help protect and preserve the root system of the existing trees on the property. Therefore, the applicant is asking for relief from the required setbacks, due to an attempt to protect the root system, to allow the building footprint to remain in the setback.

In addition, the applicant is requesting a variance from Article XXII Section 2203.1(A) regarding minimum size dwelling square footage. Section 2203.1(A) states that single-family detached dwelling units shall be no smaller than 1,050 square feet; the applicant is proposing units with a maximum 677 square feet.

Section 1801 of the *Statesboro Zoning Ordinance* lists the following four (4) factors that the Mayor and Council [could] consider to be true in its consideration of a variance request:

- (1) **There are special conditions pertaining to the land or structure in question because of its size, shape, topography, or other physical characteristic and that condition is not common to other land or buildings in the general vicinity or in the same zoning district;**
 - There are no special conditions pertaining to the land, topography or other physical characteristics of the subject site.
- (2) **The special conditions and circumstances do not result from the actions of the applicant;**
 - There are no special conditions pertaining to the land, topography or other physical characteristics of the subject site.
- (3) **The application of the ordinance to this particular piece of property would create an unnecessary hardship; and**
 - The application of the ordinance as written would not create an unnecessary hardship on the applicant.
- (4) **Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the zoning regulations.**

STAFF RECOMMENDATION:

Staff recommends approval of the zoning map amendment requested by application RZ 16-10-05. Staff recommends disapproval of the variance requested by application V 16-11-01.

EXHIBIT A: LOCATION MAP

Case # RZ 16-10-05 Parcel # S21 000006 000

Location Map:

453 South College St



City of Statesboro Department of Planning and Development



Note: The Boundries Depicted on this map are approximate and should be used for reference only

EXHIBIT B: PROPOSED SITE PLAN

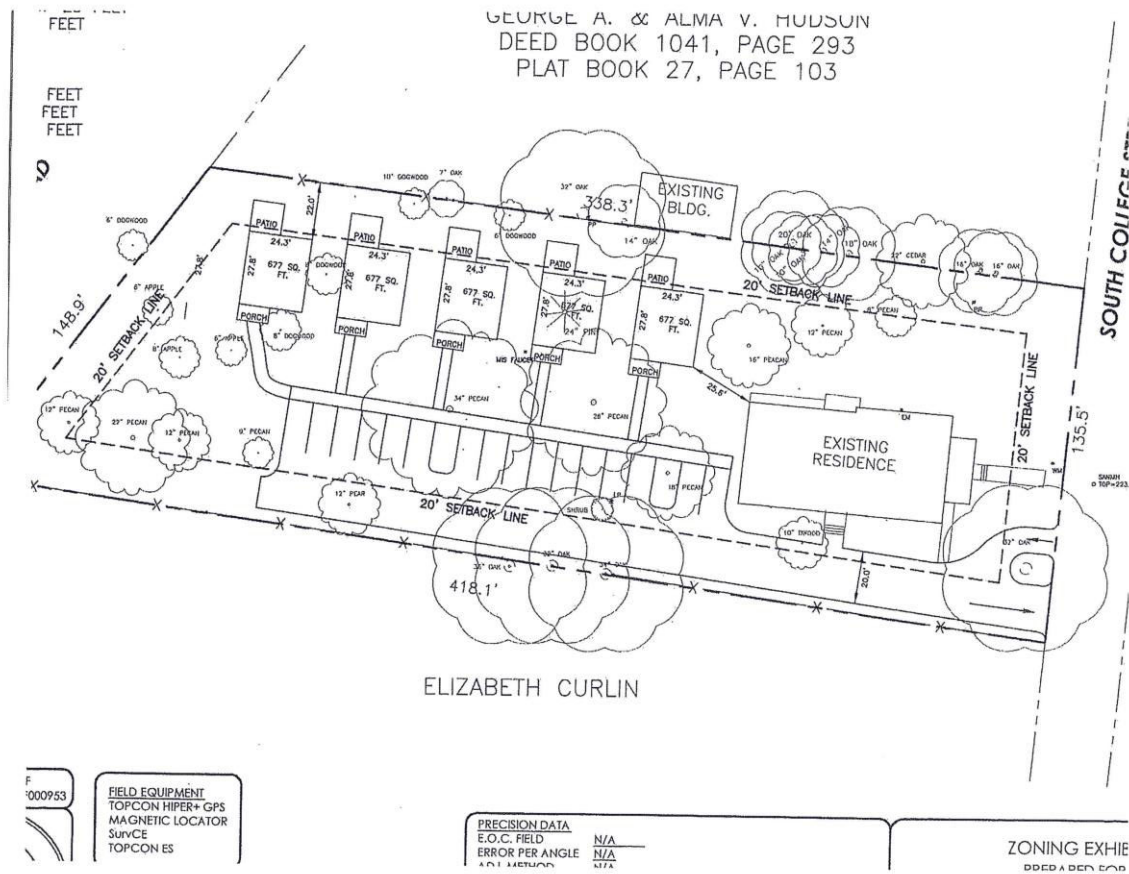


EXHIBIT C: PHOTOS OF SUBJECT SITE



Picture 1 Existing Single-Family Residence Facing West



Picture 2 Existing Single-Family Residence Facing West

EXHIBIT C: PHOTOS OF SUBJECT SITE CONTINUED



Picture 3 Stop Sign at West Kennedy Street and South College Street Existing Driveway to be used



Picture 4 Tree Line along Property Line

EXHIBIT C: PHOTOS OF SUBJECT SITE CONTINUED



Picture 5 Adjacent Property Facing North



Picture 6 Existing Driveway to Service New Cottages

EXHIBIT D: SURROUNDING PROPERTIES



Picture 7 Existing Structure at Rear of Property



Picture 8 Adjacent Property on Southern Property Line

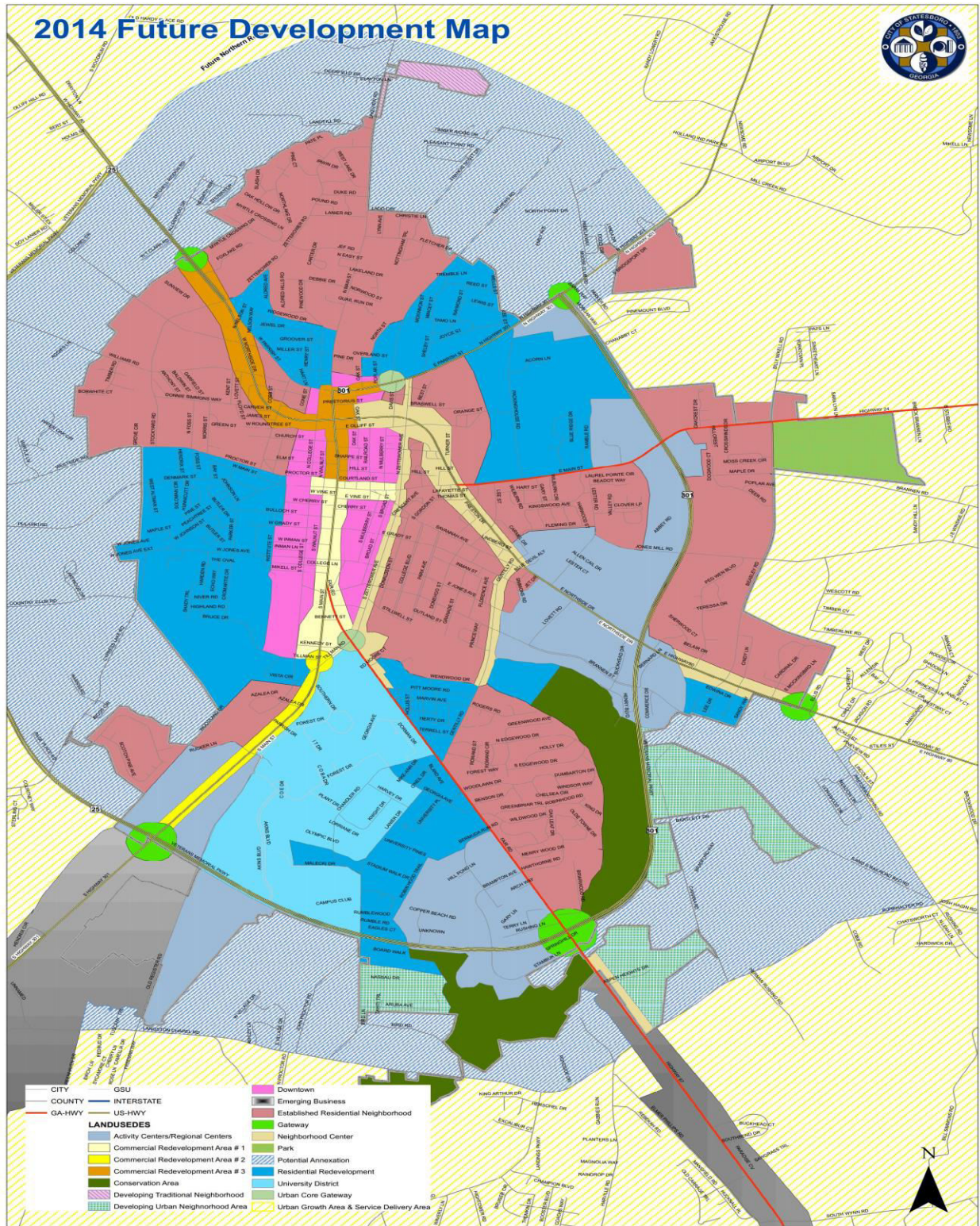


Picture 9 Rear of Property Facing South College Street



Picture 10 Adjacent Property Facing North

EXHIBIT E: CITY OF STATESBORO 2014 FUTURE DEVELOPMENT MAP





City of Statesboro-Department of Planning and Development **DEVELOPMENT SERVICES REPORT**

P.O. Box 348
Statesboro, Georgia 30458

(912) 764-0630
(912) 764-0664 (Fax)

DSDA 16-10-002 DEMOLITION REQUEST 0 East Vine Street

LOCATION: 20 East Vine Street

REQUEST: Request for a finding of necessity for the demolition of two structures zoned CBD (Central Business District) within the Downtown Statesboro Development Authority Design Standards District.

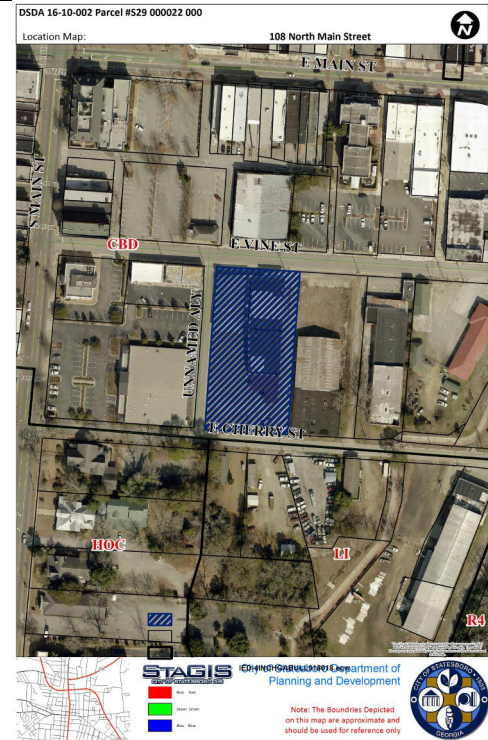
APPLICANT: AgSouth Farm Credit

OWNER(S): Farmers Union Warehouse

ACRES: .91 acres

PARCEL TAX MAP #: S29 000022 000

COUNCIL DISTRICT: 2 (Jones)



PROPOSAL:

The subject site is located at 20 East Vine Street, contains two (2) warehouses and is currently zoned CBD (Central Business District). The property lies within the boundaries of the Downtown Statesboro Development Authority, and Article XXX: Design Standards: Downtown District of the *Statesboro Zoning Ordinance* requires a finding of necessity for proposed demolitions where the structure is within an existing historic district or is listed with the National Register of Historic Places pursuant to Article XXX Section 3003(D)(e) (See **Exhibit A**—Location Map). AgSouth Farm Credit owns the property and intends to demolish the existing structures and prepare the site for the construction of a 7,780 square feet administrative building and additional parking (Tax Parcel S29 000022 000) (See **Exhibit B**—AgSouth Farm Credit Demolition Phase I Site Plan).

BACKGROUND:

The structures on the subject site are contributing properties to the East Vine Street Warehouse and Depot District. The district contains six (6) buildings—five (5) warehouses and one (1) depot. The district was listed on the National Register of Historic Places (NRHP) on September 9, 1989, as confirmed by the U.S. Department of the Interior, National Park Service on October 13, 2016 (See **Exhibit C**—Email Confirming NRHP Listing).

The extant structures in the district made a significant contribution to Statesboro's economy during the late 19th and early 20th centuries. The applicant is proposing the demolition of 50 percent of the district's historic resources, which could cause the East Vine Street Warehouse and Depot District to be removed from the NRHP, should the Georgia Historic Preservation Division deem the district has lost its historical context.

SURROUNDING ZONING/LAND USES:

	ZONING:	LAND USE:
NORTH:	CBD (Central Business District)	Food service facilities, retail or wholesale establishments, business or professional offices and office buildings
SOUTH:	LI (Light Industrial)	Parking lot and business or professional offices
EAST:	CBD (Central Business District)	Personal services facilities
WEST	CBD (Central Business District)	Personal services facilities

The subject site is surrounded by a range of mixed uses in the CBD (Central Business District). Properties to the north and south are predominantly office buildings and food service facilities, including the City of Statesboro City Hall, 40 East Grill and Galactic Comics and Games. Properties to the east and west are primarily personal services facilities, including AgSouth Farm Credit and Northland Communications.

The area surrounding the subject site includes multiple historic buildings listed on the National Register of Historic Places. For example, the structure located at 23 South Main Street (Tax Parcel S28 000069 000)—AgSouth Farm Credit’s administrative offices—served as the only U.S. Post Office, and later City Hall, in the city of Statesboro. In addition, several structures to the north and northwest are also listed, including those contributing properties that are part of the North Main Street Commercial Historic District and the West Main Street Commercial Historic District. This area of Statesboro represents a concentration of some of the only remaining buildings from the late 19th and early 20th centuries (See **Exhibit D**—Photos of Subject Site).

COMPREHENSIVE PLAN:

The subject site lies within the “Urban Core/Downtown” character area as identified by the City of Statesboro 2014 Future Development Map (See **EXHIBIT E**—2014 Future Development Map) within the *City of Statesboro Updated 2014 Comprehensive Plan* – which calls for the protection of “historic buildings from demolition or inappropriate restoration, which can degrade the architectural details of the structures” while encouraging the construction of multi-family residential uses in the area.

The *City of Statesboro Updated 2014 Comprehensive Plan* specifically mentions the subject site and encourages adaptive reuse (*Statesboro Updated 2015 Comprehensive Plan, Community Agenda* page 15).

Vision:

Downtown is the historic core of the city and should remain the activity and cultural hub of the region. In the Urban Core, traditional development patterns of buildings along the sidewalk and a lively streetscape should be respected and promoted. Historic buildings should be protected from demolition or inappropriate restoration which can degrade the architectural details of the structures. Additional residential opportunities, especially in the form of lofts or other residential over retail, should be promoted. Street-level uses should be reserved for retail, entertainment, or similar high activity uses.

Appropriate Land Uses

- Neighborhood-scale retail and commercial, especially niche market stores which serve as a destination
- Arts and entertainment venues
- Civic uses
- Office
- Neighborhood services
- Range of housing styles & price points
- Multifamily Residential
- Loft, mixed use, and urban residential, including small lot single-family residential along secondary streets
- Multi-story buildings with retail on the street and office/residential above
- Government offices & services

Suggested Development & Implementation Strategies

- Historic structures should be preserved or adaptively reused wherever possible.
- Create local historic districts.
- Economic development strategies should continue to nurture thriving commercial activity.

- New development should respect historic context of building mass, height and setbacks.
- Encourage mixed-use infill and redevelopment. Uses should typically transition across the rear of properties instead of across the street to soften the transition and maintain appropriate streetscapes.

Statesboro Updated 2015 Comprehensive Plan, Community Agenda page 14.

TAX ALLOCATION DISTRICT REDEVELOPMENT PLAN:

The 2014 Tax Allocation District Redevelopment Plan (TAD) seeks to “encourage the private redevelopment of outmoded, highway-oriented commercial development into pedestrian friendly, mixed-use centers” to achieve the vision set forth in the 2011 Statesboro Downtown Master Plan and the 2009 and 2014 Comprehensive Plans. The plan does not set forth specific suggestions for this subject site. The parcel in this request is listed in the TAD under Appendix B (page 47) (See **Exhibit F**—List of Parcels Included in the TAD). The parcel had an appraised value of \$301,830, an assessed value of \$120,732 and a tax value of \$120,732, at the time the Tax Allocation Redevelopment Plan was written in December 2014.

STATESBORO DOWNTOWN MASTER PLAN:

The 2011 Statesboro Downtown Master Plan Redevelopment Initiatives Locational Guidance land use map places the parcel in Zone 4: Mixed Use (incl. loft housing), Parks and Attractions. The plan establishes this zone of primary importance and calls for an emphasis on catalyst and specialty projects as well as supportive streetscape enhancements (See **Exhibit G**—Locational Guidance/Zone Implementation Table).

COMMUNITY FACILITIES AND TRANSPORTATION:

The subject property is currently serviced by city utilities, sanitation, and public safety. No significant impact is expected on community facilities or services as a result of this request.

ENVIRONMENTAL:

The subject property does not contain wetlands and is not located in a special flood hazard area. There is no expected environmental impact associated with this request. Any environmental issues associated with the proper demolition of the structures and/or removal and disposal of debris are the responsibility of the applicant.

ANALYSIS:

Whether or not a Finding of Necessity Should be Issued Authorizing the Demolition of the Structures Requested by Application DSDA 16-10-001:

On October 13, 2016, the U.S. Department of the Interior, National Park Service confirmed the structures on this parcel was registered with the National Register of Historic Places on September 9, 1989 (See **Exhibit C**—Email Confirming NRHP Listing). The site contains two (2) of six (6) structures—five (5) warehouses and one (1) depot—comprising the East Vine Street Warehouse and Depot District. The warehouses date from 1906-1908 and the frame depot (the current location of Northland Communications) dates from 1923.

The National Park Service found that the East Vine Street Warehouse and Depot District important under the following NRHP criteria for evaluation:

- Criteria A: Places that are associated with events that have made a significant contribution to the broad patterns of our history; and
- Criteria C: Places that embody the distinctive characteristics of a type, period, or method of construction, or that represent a significant and distinguishable entity whose components may lack individual distinction.

In addition, the East Vine Street Warehouse and Depot District’s areas of significance include the following:

- Criteria A Areas of Significance: Commerce and transportation
- Criteria C Areas of Significance: Architecture

Narrative statement of significance (areas of significance) from the National Register of Historic Places Registration Form (July 1989):

“The East Vine Street Warehouse and Depot District played an important part in the historical development of downtown Statesboro and is eligible for nomination to the National Register of Historic Places as a part of the Statesboro multiple property listing. In support of National Register criteria C, the district is significant in the area of architecture for its depot and concentration of historic warehouse structures which developed in conjunction with the railroad. The utilitarian design featured on these buildings was common to early 20th-century warehouse districts around Georgia but is found in Statesboro only in this district. The district is also significant under National Register criteria A in the areas of commerce and transportation for its support of the economic expansion which occurred in

Statesboro during the late 19th and early 20th centuries. This economic expansion has been credited to the Sea Island cotton market and the accessibility [sic] of the railroad.

“The district is significant in the area of commerce and transportation because it is associated with the two principal forces driving Statesboro's early 20th-century economic prosperity. Statesboro was founded in 1802, but its physical development did not commence until 1889 with the coming of the railroad and the increase in the production of Sea Island cotton. The East Vine Street Warehouse and Depot District is comprised of the extant structures directly associated with the railroad and cotton marketing. With its commerce directly tied to the Sea Island cotton market, Statesboro prospered from 1890 until the boll weevil caused dramatic damage to the crop in the 1920s. The Great Depression of the 1930s also had a detrimental effect on Statesboro's economy and the availability of marketable goods. The structures had been important for storing cotton and, to a lesser extent, other goods near the railroad. Cotton crop damage and the depression resulted in a smaller amount of goods that needed to be stored and transported. The Savannah and Statesboro Railroad Depot still stands within the district as reminder of the early 20th century when the railroads were the most convenient and economical method for overland conveyance of freight such as cotton and other agricultural products. The 1923 depot was constructed near the end of Statesboro's boom period.

“In terms of architecture, the buildings are significant for their early 20th-century utilitarian design, the purpose of which was to withstand heavy use. This simple, straightforward design is typical of similar buildings built throughout the state in the late 19th and early 20th centuries. Beyond their practical purpose, the buildings exhibit decorative features commonly found on commercial and warehouse structures constructed at the time in Georgia. These decorative features include signs painted on the sides of the structure for merchant identification, horizontal stepped parapets, segmental-arched windows and doors, and corbeled-brick cornices. L. R. Blackburn, a contractor associated with downtown Statesboro's development, has been given credit for some of the masonry construction within the district. The depot is the 1923 reconstruction of an 1899 depot which was destroyed by fire in 1922. The late Victorian-style depot was reconstructed using the same plan as the original and was the last railroad depot constructed in pre-World War II Georgia.

“During the late 19th and early 20th centuries, Georgia county seats were shipping and transportation centers for their county. Cotton and other goods were then shipped from the county seat to port cities, such as Savannah. Because of the district's association with the early 20th-century commercial expansion resulting from the Sea Island cotton trade and its continued importance as a transportation and warehouse center for Statesboro and Bulloch County, the district meets National Register criteria A. Because the district exhibits architectural design characteristics common to small-town, commercial and industrial structures of the early part of the 20th century, including corbeling, pressed-metal cornices, round- and segmental-arched windows, the district meets National Register criteria C.”

Article XXX Criteria

Given that the structures are listed on the National Register of Historic Places, staff is not authorized to administratively approve a demolition permit. Rather, council must determine whether the structures are considered to be a “Historical Building” as defined by Article XXX of the Statesboro Zoning Ordinance, and if so, may authorize a demolition only upon a showing of necessity. In order to designate the structures as a “Historical Building” meriting preservation, Council must find the building to be greater than fifty years in age and that at least one of the following criteria or the criteria of the National Register of Historic Places are met. Ordinance considerations, and relevant known factors, are as follows:

(1) The structure is an outstanding example representative of its era:

- a.** The East Vine Street Warehouse and Depot District is an outstanding example of warehouse architecture representative of its era. “In support of National Register criteria C, the district is significant in the area of architecture for its depot and concentration of historic warehouse structures which developed in conjunction with the railroad. The utilitarian design featured on these buildings was common to early 20th-century warehouse districts around Georgia but is found in Statesboro only in this district,” according to the National Register of Historic Places Registration Form completed in July 1989 (See **EXHIBIT D**—Photos of Subject Site).

(2) The structure is one of few remaining examples of a past architectural style:

The contributing structures within the East Vine Street Warehouse and Depot District are the **only** remaining examples of this architectural style in Statesboro, according to the National Park Service.

(3) The property or structure place or structure is associated with an event or person of historic or cultural significance to the City of Statesboro, Bulloch County, the State of Georgia, or the region:

The subject site is associated with commerce and transportation, which contributed significantly to Statesboro's growth during the first third of the 20th century.

(4) The property or structure is a site of natural or aesthetic interest that is continuing to contribute to the cultural or historical development and heritage of the City of Statesboro, Bulloch County, the State of Georgia, or the region;

The subject property is not a site of natural or aesthetic interest that contributes to the cultural or historical development of the City of Statesboro.

(5) It is within an existing historic district or is listed with the National Register of Historic Places; or

The parcel lies within the boundaries of a NRHP district (See **Exhibit G**—Historic Resources of Statesboro).

STAFF RECOMMENDATION:

Staff recommends the rehabilitation of the structures at the subject site. Pursuant to the facts established by the U.S. Department of the Interior, the subject site's listing in the National Register of Historic Places, the vision stated in the 2014 Comprehensive Master Plan and the strategies identified in the Downtown Master Plan, staff is of the opinion that retaining and rehabilitating the structures will assist with preserving the visual and tangible cultural identity of the City of Statesboro. In addition, the appropriate rehabilitation and marketing of the subject site may contribute to a vibrant and cultural downtown that can draw revenue in the form of tourism, economic development and other activities.

Staff further recommends the applicant utilize the new site plan, proposed by staff, which would still allow the new building and new parking lot to be completed as submitted. The applicant submitted an environmental site assessment, completed by Whitaker Laboratory, Inc. and only found lead paint.

In the event Council grants the demolition requested by DSDA 16-10-002, the remaining structures may be removed from the National Register of Historic Places, leaving them vulnerable to demolition without an opportunity for proper review at the federal level, if required. In addition, staff would recommend the following condition should Council grant the request:

1. Applicant is responsible for relocating all utilities, including but not limited to gas lines, utilities, light poles, etc.

EXHIBIT A: LOCATION MAP



EXHIBIT B: AGSOUTH FARM CREDIT DEMOLITION PHASE I SITE PLAN

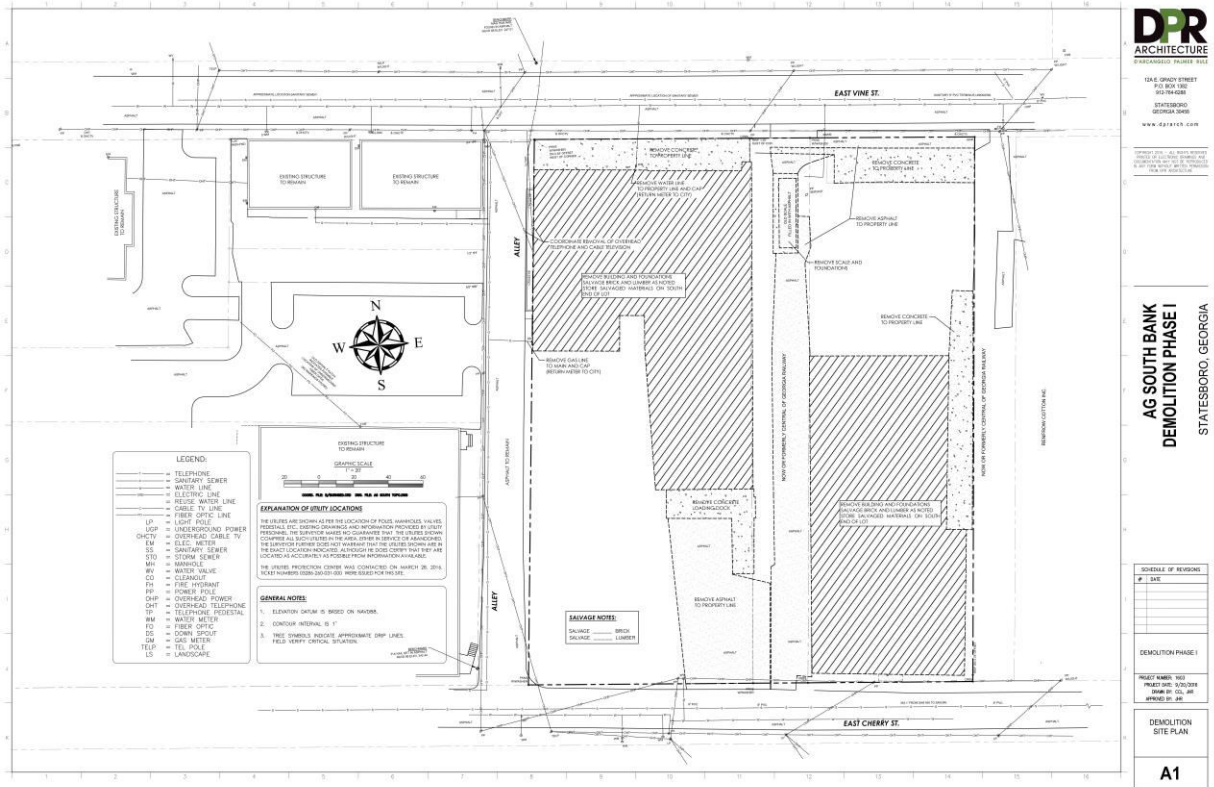


EXHIBIT C: NATIONAL PARK SERVICE EMAIL CONFIRMING NRHP LISTING

10/27/2016

City of Statesboro Mail - East Vine Street Warehouse and Depot District, Statesboro, Bulloch Co., GA



Candra Teshome <candra.teshome@statesboroga.gov>

East Vine Street Warehouse and Depot District, Statesboro, Bulloch Co., GA

Deline, Lisa <lisa_deline@nps.gov>
To: candra.teshome@statesboroga.gov
Cc: frank.neal@statesboroga.gov

Thu, Oct 13, 2016 at 2:42 PM

Candra - The property located at 0 East Vine Street (tax parcel S29 000021 000) and the property located at 20 East Vine Street (tax parcel S29 000022 000) are contributing properties to the historic East Vine Street Warehouse and Depot District, Statesboro, GA.

This district was listed in the National Register of Historic Places on September 9, 1989. The district meets National Register Criteria A and C for significance in commerce, transportation, and architecture. The period of significance is 1906-1923.

Please let me know if you need any additional information.

--
Lisa Deline
Historian
National Register of Historic Places
www.nps.gov/nr

Like us on Facebook! www.facebook.com/NationalRegisterNPS
Flickr: www.flickr.com/photos/nationalregister/



Centennial Goal: Connect with and create the next generation of park visitors, supporters, and advocates.

https://mail.google.com/mail/u/0/?ui=2&ik=e02d8cc260&view=pt&q=in%3Ainbox&name=Inbox&search=section_query&msg=157bf5b697d8b2ff&siml=... 1/1

EXHIBIT D: PHOTOS OF SUBJECT SITE



Picture 1 Exterior of 20 East Vine Street, the Former Smith Supply Co.



Picture 2 Exterior of 22 East Vine Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 3 Exterior at Angle Depicting both 20 and 22 East Vine Street



Picture 4 West Exterior Wall Depicting Proposed Alley Closure Connecting Cherry Street and East Vine Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 5 Alley Connecting Cherry Street and East Vine Street



Picture 6 Interior of 20 East Vine Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 7 Interior of 20 East Vine Street



Picture 8 Interior of 22 East Vine Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 9 Interior of 22 East Vine Street



Picture 10 Interior of 22 East Vine Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 11 Interior of 22 East Vine Street

EXHIBIT E: CITY OF STATESBORO 2014 FUTURE DEVELOPMENT MAP

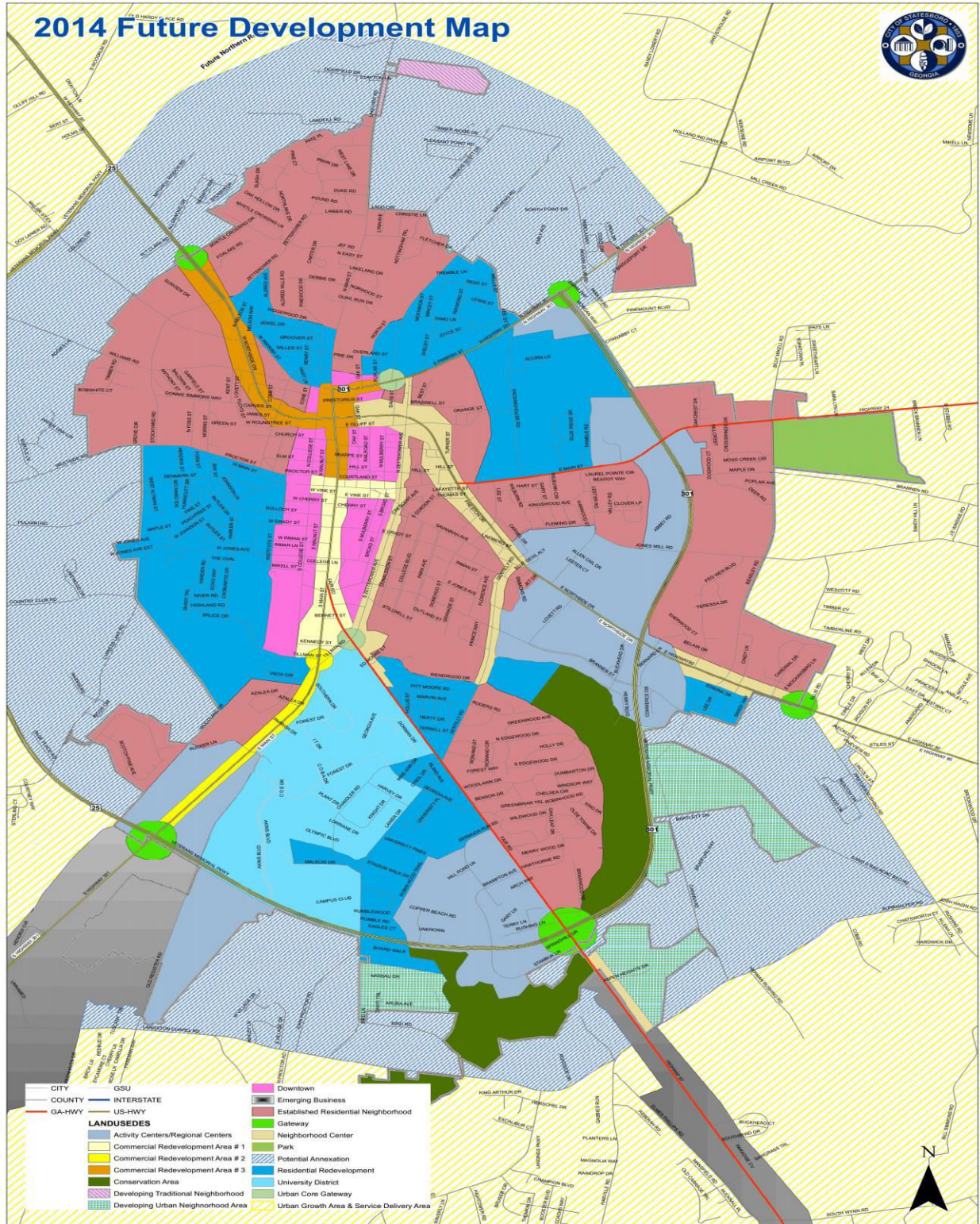


EXHIBIT F: LIST OF PARCELS INCLUDED IN THE TAD

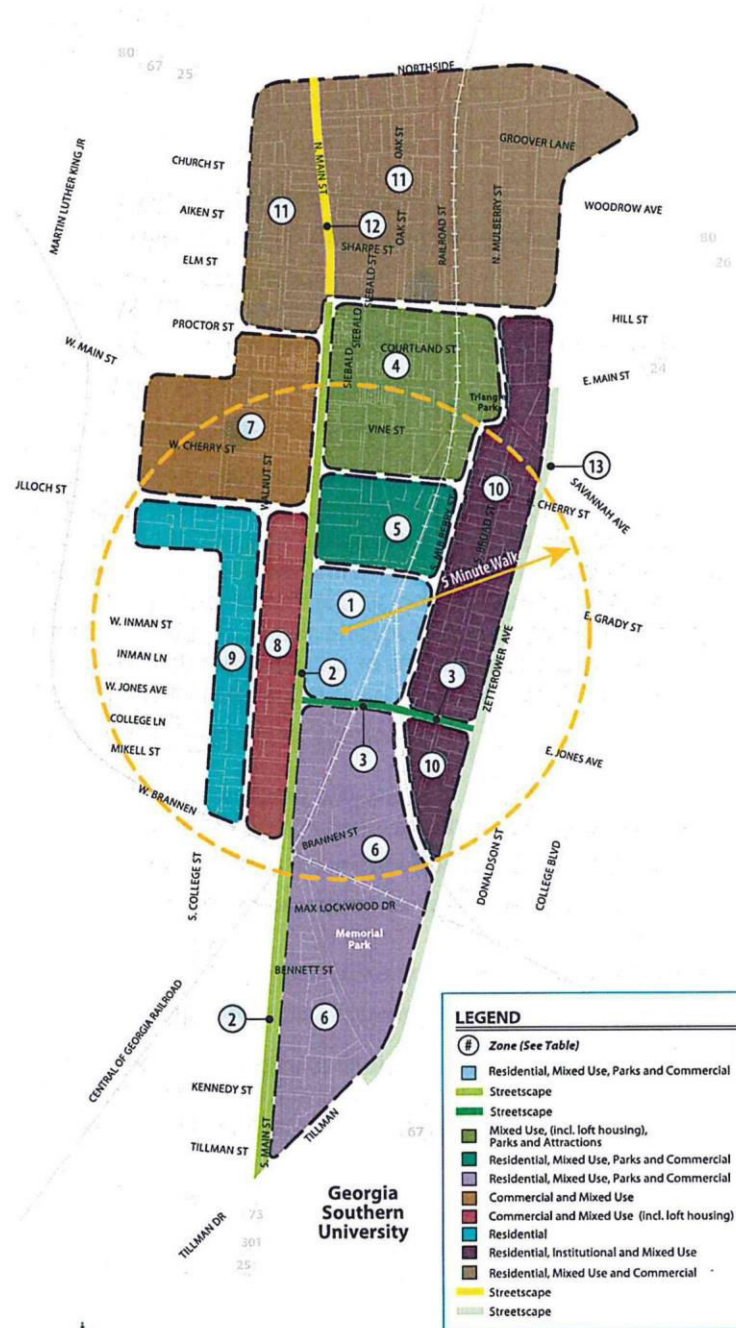
City of Statesboro Tax Allocation District #1: South Main Redevelopment Plan 2014

GEOPIN	PARCEL_NO	Legal Description	DIG CLASS	TAXD ISTRIC	Appraised Value	Assessed Value	Tax Value
7879-40-0662	S18 000035 000	W VINE ST	C	1	57,616	23,046	23,046
7879-40-0877	S18 000037 000	20-26 W MAIN ST	C	1	441,307	176,523	176,523
7879-40-1034	S19 000005 000	107 S MAIN ST TRELLIS GARDEN	E	1	1,025,544	410,218	0
7879-40-1243	S19 000004 000	CHURCH & BLDGS	E	1	4,606,900	1,842,760	0
7879-40-1462	S18 000033 000	W CHERRY ST	C	1	21,752	8,701	8,701
7879-40-1595	S18 000030 000	27 S MAIN ST	C	1	257,175	102,870	102,870
7879-40-1776	S18 000036A000	VINE STREET	C	1	59,321	23,728	23,728
7879-40-1897	S18 000039 000	STORE/8-18 W MAIN ST	C	1	326,258	130,503	130,503
7879-40-2369	S18 000032 000	LODGE 213	E	1	156,975	62,790	0
7879-40-2463	S18 000031 000	35 S MAIN ST	C	1	173,817	69,527	69,527
7879-40-2680	S18 000029 000	25 S MAIN ST	C	1	59,111	23,644	23,644
7879-40-2693	S18 000028 000	23 S MAIN (GRIMES)	C	1	155,258	62,103	62,103
7879-40-2695	S18 000027 000	19 S MAIN ST/HUGO'S	C	1	136,283	54,513	54,513
7879-40-2792	S18 000026 000	S MAIN ST	C	1	149,242	59,697	59,697
7879-40-2794	S18 000025 000	13 S MAIN ST	C	1	81,183	32,473	32,473
7879-40-3706	S18 000024 000	9 SOUTH MAIN STREET	C	1	69,833	27,933	27,933
7879-40-3709	S18 000023 000	WATERS/7 S MAIN ST	C	1	92,558	37,023	37,023
7879-40-3802	S18 000022 000	S MAIN ST/NORRIS	C	1	131,325	52,530	52,530
7879-40-3804	S18 000021 000	3 S MAIN ST/STORE	C	1	85,317	34,127	34,127
7879-40-3808	S18 000020 000	1 S MAIN ST	C	1	241,592	96,637	96,637
7879-40-3919	S18 000019 000	1 NORTH MAIN STREET	C	1	151,500	60,600	60,600
7879-40-5004	S29 000003 000	106 S MAIN/SBORO INN	C	1	581,476	232,590	232,590
7879-40-5115	S29 000002 000	102 S MAIN ST	E	1	435,000	174,000	0
7879-40-7008	S29 000024A000	BOY SCOUT HUT	E	1	66,500	26,600	0
7879-40-7086	S29 000024 000	2 E CHERRY ST	C	1	46,496	18,598	18,598
7879-40-7359	S29 000022 000	20/22 E VINE ST	C	1	301,830	120,732	120,732
7879-40-9130	S29 000027 000	E CHERRY ST	C	1	45,530	18,212	18,212
7879-40-9308	S29 000021 000	E VINE ST	C	1	113,840	45,536	45,536
7879-41-0004	S18 000062 000	33 W MAIN ST	C	1	71,417	28,567	28,567
7879-41-0083	S18 000045 000	27 W MAIN ST	C	1	133,458	53,383	53,383
7879-41-0407	S18 000058 000	SEARS BLDG/COLEMAN	C	1	277,030	110,812	110,812
7879-41-0605	S18 000057 000	23 N WALNUT	R	1	37,100	14,840	14,840
7879-41-1023	S18 000044 000	25 W MAIN	C	1	35,317	14,127	14,127
7879-41-1042	S18 000043 000	23 W MAIN	C	1	26,583	10,633	10,633
7879-41-1072	S18 000042 000	19-20 W MAIN ST	C	1	73,708	29,483	29,483
7879-41-1111	S18 000046 000	12 & PT 9 /STORE	E	1	26,370	10,548	0
7879-41-1141	S18 000046 001		R	1	1,500	600	600
7879-41-2002	S18 000041 000	DRUG STORE/W MAIN ST	C	1	46,975	18,790	18,790
7879-41-2022	S18 000040 000	15 W MAIN ST	C	1	87,255	34,902	34,902
7879-41-2100	S18 000047 001	PARKING LOT/OFF WALNUT STREET	E	1	22,781	9,112	0
7879-41-2431	S18 000007 000	N MAIN/VAC LOT	C	1	73,255	29,302	29,302

Appendices

47

EXHIBIT G: LOCATIONAL GUIDANCE/ZONE IMPLEMENTATION TABLE



Locational / Zone Implementation



EXHIBIT G: LOCATIONAL GUIDANCE/ZONE IMPLEMENTATION TABLE (CONT)

IMPLEMENTATION STRATEGY

Locational / Zone Implementation Table – continued







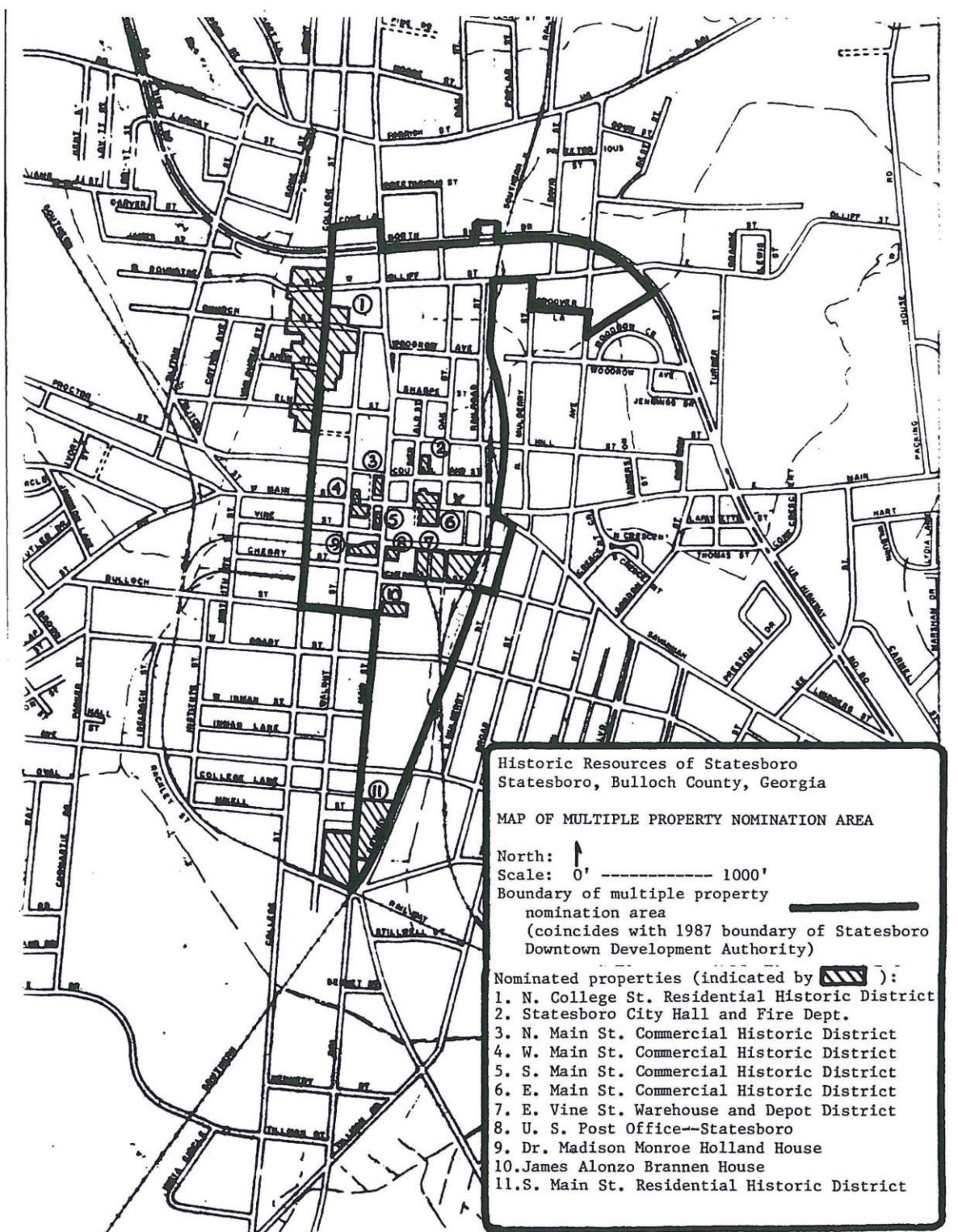
Zones	Targeted Use/Enhancement	Importance Level	Discussion
 4	Mixed Use (incl. loft housing), Parks and Attractions	Primary, this zone represents the downtown core and is one of the primary redevelopment and infill zones in the master plan	<ul style="list-style-type: none"> • Emphasis on catalyst and specialty projects as well as supportive streetscape enhancements (i.e., Vine Street Retail) • In terms of timing, this area should be targeted in the initial phases of implementation of the master plan
 5	Residential, Mixed Use, Parks and Commercial	Secondary, this zone represents the transitional redevelopment zone between downtown core and those identified as a primary targeted redevelopment areas for new residential mixed use and commercial projects	<ul style="list-style-type: none"> • A transitional zone that is an extension of the downtown core and the adjacent zone to the south • Unless opportunities for acquisition, property assemblage or partnership become available, this area be focused upon secondarily in terms of timing or phasing
 6	Residential, Mixed Use and Commercial	Secondary, this area is viewed as a business/commercial zone and redevelopment should be focused on support or uses related to the University	<ul style="list-style-type: none"> • Potential areas to be targeted may include the closure or redesign of Brannen Street to support contiguous assemblage of parcels • Emphasize reduction of pedestrian/ vehicular conflicts • Improve connectivity with Memorial Park and enhance amenities
 7	Commercial and Mixed Use	Primary, as an extension of the downtown core, this area is important to the master plan based on existing/planned projects and the potential for redevelopment opportunities	<ul style="list-style-type: none"> • This area is deemed primary due to opportunities available and the potential of assemblage of larger development tracts • In the short term exhaust redevelopment opportunities in this areas as appropriate
 8	Commercial and Mixed Use (incl. loft housing)	Primary, the frontage along South Main is a critical part of the master plan. The creation of a mixed use, pedestrian-oriented corridor should be the primary focus in this area	<ul style="list-style-type: none"> • The frontage on the west side of South Main Street is an important supporting element to University and local traffic enhancements • Potential redevelopment should foster pedestrian-scaled neighborhood and community commercial uses • Commercial, office, residential utilization is appropriate for this area
 9	Residential	Secondary, deemed a supporting element to the master plan, the improvements in this area should be market driven and a product of activities occurring in areas deemed as primary importance level	<ul style="list-style-type: none"> • Assemblage of redevelopment parcels could be challenging in this area • The creation of appropriately scaled residential uses is the focus in this zone • Implement neighborhood residential revitalization and stabilization programs to improve and maintain housing stock



EXHIBIT H: HISTORIC RESOURCES OF STATESBORO MAP





City of Statesboro-Department of Planning and Development
DEVELOPMENT SERVICES REPORT

P.O. Box 348
Statesboro, Georgia 30458

(912) 764-0630
(912) 764-0664 (Fax)

**DSDA 16-10-001
DEMOLITION REQUEST
0 East Vine Street**

LOCATION: 0 East Vine Street

REQUEST: Request for a finding of necessity for the demolition of one structure zoned CBD (Central Business District) within the Downtown Statesboro Development Authority Design Standards District.

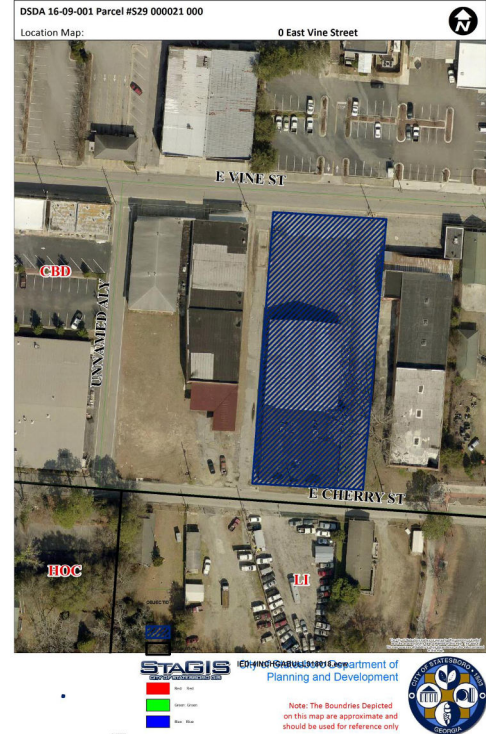
APPLICANT: AgSouth Farm Credit

OWNER(S): Farmers Union Warehouse

ACRES: .87 acres

PARCEL TAX MAP #: S29 000021 000

COUNCIL DISTRICT: 2 (Jones)



PROPOSAL:

The subject site is located at 0 East Vine Street, contains one (1) warehouse and is currently zoned CBD (Central Business District). The property lies within the boundaries of the Downtown Statesboro Development Authority, and Article XXX: Design Standards: Downtown District of the *Statesboro Zoning Ordinance* requires a finding of necessity for proposed demolitions where the structure is within an existing historic district or is listed with the National Register of Historic Places pursuant to Article XXX Section 3003(D)(e) (See **Exhibit A**—Location Map). AgSouth Farm Credit owns the property and intends to demolish the existing structure and prepare the site for the construction of a 7,780 square feet administrative building and additional parking (Tax Parcel S29 000021 000) (See **Exhibit B**—AgSouth Farm Credit Demolition Phase I Site Plan).

BACKGROUND:

The structure on the subject site is a contributing property to the East Vine Street Warehouse and Depot District. The district contains six (6) buildings—five (5) warehouses and one (1) depot. The district was listed on the National Register of Historic Places (NRHP) on September 9, 1989, as confirmed by the U.S. Department of the Interior, National Park Service on October 13, 2016 (See **Exhibit C**—Email Confirming NRHP Listing).

The extant structures in the district made a significant contribution to Statesboro's economy during the late 19th and early 20th centuries. The applicant is proposing the demolition of 50 percent of the district's historic resources, which could cause the East Vine Street Warehouse and Depot District to be removed from the NRHP, should the Georgia Historic Preservation Division deem the district has lost its historical context.

SURROUNDING ZONING/LAND USES:

ZONING:		LAND USE:
NORTH:	CBD (Central Business District)	Food service facilities, retail or wholesale establishments, business or professional offices and office buildings
SOUTH:	LI (Light Industrial)	Parking lot and business or professional offices
EAST:	CBD (Central Business District)	Personal services facilities
WEST	CBD (Central Business District)	Personal services facilities

The subject site is surrounded by a range of mixed uses in the CBD (Central Business District). Properties to the north and south are predominantly office buildings and food service facilities, including the City of Statesboro City Hall, 40 East Grill and Galactic Comics and Games. Properties to the east and west are primarily personal services facilities, including AgSouth Farm Credit and Northland Communications.

The area surrounding the subject site includes multiple historic buildings listed on the National Register of Historic Places. For example, the structure located at 23 South Main Street (Tax Parcel S28 000069 000)—AgSouth Farm Credit’s administrative offices—served as the only U.S. Post Office, and later City Hall, in the city of Statesboro. In addition, several structures to the north and northwest are also listed, including those contributing properties that are part of the North Main Street Commercial Historic District and the West Main Street Commercial Historic District. This area of Statesboro represents a concentration of some of the only remaining buildings from the late 19th and early 20th centuries (See **Exhibit D**—Photos of Subject Site).

COMPREHENSIVE PLAN:

The subject site lies within the “Urban Core/Downtown” character area as identified by the City of Statesboro 2014 Future Development Map (See **EXHIBIT E**—2014 Future Development Map) within the *City of Statesboro Updated 2014 Comprehensive Plan* – which calls for the protection of “historic buildings from demolition or inappropriate restoration, which can degrade the architectural details of the structures” while encouraging the construction of multi-family residential uses in the area.

The *City of Statesboro Updated 2014 Comprehensive Plan* specifically mentions the subject site and encourages adaptive reuse (*Statesboro Updated 2015 Comprehensive Plan, Community Agenda* page 15).

Vision:

Downtown is the historic core of the city and should remain the activity and cultural hub of the region. In the Urban Core, traditional development patterns of buildings along the sidewalk and a lively streetscape should be respected and promoted. Historic buildings should be protected from demolition or inappropriate restoration which can degrade the architectural details of the structures. Additional residential opportunities, especially in the form of lofts or other residential over retail, should be promoted. Street-level uses should be reserved for retail, entertainment, or similar high activity uses.

Appropriate Land Uses

- Neighborhood-scale retail and commercial, especially niche market stores which serve as a destination
- Arts and entertainment venues
- Civic uses
- Office
- Neighborhood services
- Range of housing styles & price points
- Multifamily Residential
- Loft, mixed use, and urban residential, including small lot single-family residential along secondary streets
- Multi-story buildings with retail on the street and office/residential above
- Government offices & services

Suggested Development & Implementation Strategies

- Historic structures should be preserved or adaptively reused wherever possible.
- Create local historic districts.
- Economic development strategies should continue to nurture thriving commercial activity.

- New development should respect historic context of building mass, height and setbacks.
- Encourage mixed-use infill and redevelopment. Uses should typically transition across the rear of properties instead of across the street to soften the transition and maintain appropriate streetscapes.

Statesboro Updated 2015 Comprehensive Plan, Community Agenda page 14.

TAX ALLOCATION DISTRICT REDEVELOPMENT PLAN:

The 2014 Tax Allocation District Redevelopment Plan (TAD) seeks to “encourage the private redevelopment of outmoded, highway-oriented commercial development into pedestrian friendly, mixed-use centers” to achieve the vision set forth in the 2011 Statesboro Downtown Master Plan and the 2009 and 2014 Comprehensive Plans. The plan does not set forth specific suggestions for this subject site. The parcel in this request is listed in the TAD under Appendix B (page 47) (See **Exhibit F**—List of Parcels Included in the TAD). The parcel had an appraised value of \$113,840, an assessed value of \$45,536 and a tax value of \$45,536, at the time the Tax Allocation Redevelopment Plan was written in December 2014.

STATESBORO DOWNTOWN MASTER PLAN:

The 2011 Statesboro Downtown Master Plan Redevelopment Initiatives Locational Guidance land use map places the parcel in Zone 4: Mixed Use (incl. loft housing), Parks and Attractions. The plan establishes this zone of primary importance and calls for an emphasis on catalyst and specialty projects as well as supportive streetscape enhancements (See **Exhibit G**—Locational Guidance/Zone Implementation Table).

In addition, the Downtown Master plan identifies the structure on this lot as dilapidated. Despite this, the plan calls for the repair or rehabilitation of structures if they have significant historic value (See **Exhibit H**—Building Conditions Downtown Master Plan).

COMMUNITY FACILITIES AND TRANSPORTATION:

The subject property is currently serviced by city utilities, sanitation, and public safety. No significant impact is expected on community facilities or services as a result of this request.

ENVIRONMENTAL:

The subject property does not contain wetlands and is not located in a special flood hazard area. There is no expected environmental impact associated with this request. Any environmental issues associated with the proper demolition of the structures and/or removal and disposal of debris are the responsibility of the applicant.

ANALYSIS:

Whether or not a Finding of Necessity Should be Issued Authorizing the Demolition of the Structure Requested by Application DSDA 16-10-001:

On October 13, 2016, the U.S. Department of the Interior, National Park Service confirmed the structure on this parcel was registered with the National Register of Historic Places on September 9, 1989 (See **Exhibit C**—Email Confirming NRHP Listing). The structure is one (1) of six (6) structures—five (5) warehouses and one (1) depot—comprising the East Vine Street Warehouse and Depot District. The warehouses date from 1906-1908 and the frame depot (the current location of Northland Communications) dates from 1923.

The National Park Service found that the East Vine Street Warehouse and Depot District important under the following NRHP criteria for evaluation:

- Criteria A: Places that are associated with events that have made a significant contribution to the broad patterns of our history; and
- Criteria C: Places that embody the distinctive characteristics of a type, period, or method of construction, or that represent a significant and distinguishable entity whose components may lack individual distinction.

In addition, the East Vine Street Warehouse and Depot District’s areas of significance include the following:

- Criteria A Areas of Significance: Commerce and transportation
- Criteria C Areas of Significance: Architecture

Narrative statement of significance (areas of significance) from the National Register of Historic Places Registration Form (July 1989):

“The East Vine Street Warehouse and Depot District played an important part in the historical development of downtown Statesboro and is eligible for nomination to the National Register of Historic Places as a part of the Statesboro multiple property listing. In support of National Register criteria C, the district is significant in the area of architecture for its depot and concentration of historic warehouse structures which developed in conjunction with the railroad. The utilitarian design featured on these buildings was common to early 20th-century warehouse districts

around Georgia but is found in Statesboro only in this district. The district is also significant under National Register criteria A in the areas of commerce and transportation for its support of the economic expansion which occurred in Statesboro during the late 19th and early 20th centuries. This economic expansion has been credited to the Sea Island cotton market and the accessibility [sic] of the railroad.

“The district is significant in the area of commerce and transportation because it is associated with the two principal forces driving Statesboro's early 20th-century economic prosperity. Statesboro was founded in 1802, but its physical development did not commence until 1889 with the coming of the railroad and the increase in the production of Sea Island cotton. The East Vine Street Warehouse and Depot District is comprised of the extant structures directly associated with the railroad and cotton marketing. With its commerce directly tied to the Sea Island cotton market, Statesboro prospered from 1890 until the boll weevil caused dramatic damage to the crop in the 1920s. The Great Depression of the 1930s also had a detrimental effect on Statesboro's economy and the availability of marketable goods. The structures had been important for storing cotton and, to a lesser extent, other goods near the railroad. Cotton crop damage and the depression resulted in a smaller amount of goods that needed to be stored and transported. The Savannah and Statesboro Railroad Depot still stands within the district as reminder of the early 20th century when the railroads were the most convenient and economical method for overland conveyance of freight such as cotton and other agricultural products. The 1923 depot was constructed near the end of Statesboro's boom period.

“In terms of architecture, the buildings are significant for their early 20th-century utilitarian design, the purpose of which was to withstand heavy use. This simple, straightforward design is typical of similar buildings built throughout the state in the late 19th and early 20th centuries. Beyond their practical purpose, the buildings exhibit decorative features commonly found on commercial and warehouse structures constructed at the time in Georgia. These decorative features include signs painted on the sides of the structure for merchant identification, horizontal stepped parapets, segmental-arched windows and doors, and corbeled-brick cornices. L. R. Blackburn, a contractor associated with downtown Statesboro's development, has been given credit for some of the masonry construction within the district. The depot is the 1923 reconstruction of an 1899 depot which was destroyed by fire in 1922. The late Victorian-style depot was reconstructed using the same plan as the original and was the last railroad depot constructed in pre-World War II Georgia.

“During the late 19th and early 20th centuries, Georgia county seats were shipping and transportation centers for their county. Cotton and other goods were then shipped from the county seat to port cities, such as Savannah. Because of the district's association with the early 20th-century commercial expansion resulting from the Sea Island cotton trade and its continued importance as a transportation and warehouse center for Statesboro and Bulloch County, the district meets National Register criteria A. Because the district exhibits architectural design characteristics common to small-town, commercial and industrial structures of the early part of the 20th century, including corbeling, pressed-metal cornices, round- and segmental-arched windows, the district meets National Register criteria C.”

Article XXX Criteria

Given that the structure is listed on the National Register of Historic Places, staff is not authorized to administratively approve a demolition permit. Rather, council must determine whether the structure is considered to be a “Historical Building” as defined by Article XXX of the Statesboro Zoning Ordinance, and if so, may authorize a demolition only upon a showing of necessity. In order to designate the structure as a “Historical Building” meriting preservation, Council must find the building to be greater than fifty years in age and that at least one of the following criteria or the criteria of the National Register of Historic Places are met. Ordinance considerations, and relevant known factors, are as follows:

(1) The structure is an outstanding example representative of its era:

- a. The East Vine Street Warehouse and Depot District is an outstanding example of warehouse architecture representative of its era. “In support of National Register criteria C, the district is significant in the area of architecture for its depot and concentration of historic warehouse structures which developed in conjunction with the railroad. The utilitarian design featured on these buildings was common to early 20th-century warehouse districts around Georgia but is found in Statesboro only in this district,” according to the National Register of Historic Places Registration Form completed in July 1989 (See **EXHIBIT D**—Photos of Subject Site).

(2) The structure is one of few remaining examples of a past architectural style:

The contributing structures within the East Vine Street Warehouse and Depot District are the only remaining examples of this architectural style in Statesboro, according to the National Park Service.

(3) The property or structure place or structure is associated with an event or person of historic or cultural significance to the City of Statesboro, Bulloch County, the State of Georgia, or the region:

The subject site is associated with commerce and transportation, which contributed significantly to Statesboro's growth during the first third of the 20th century.

(4) The property or structure is a site of natural or aesthetic interest that is continuing to contribute to the cultural or historical development and heritage of the City of Statesboro, Bulloch County, the State of Georgia, or the region;

The subject property is not a site of natural or aesthetic interest that contributes to the cultural or historical development of the City of Statesboro.

(5) It is within an existing historic district or is listed with the National Register of Historic Places; or

The parcel lies within the boundaries of a NRHP district (See **Exhibit I**—Historic Resources of Statesboro).

STAFF RECOMMENDATION:

Staff recommends the rehabilitation of the structures at the subject site. Pursuant to the facts established by the U.S. Department of the Interior, the subject site's listing in the National Register of Historic Places, the vision stated in the 2014 Comprehensive Master Plan and the strategies identified in the Downtown Master Plan, staff is of the opinion that retaining and rehabilitating the structures will assist with preserving the visual and tangible cultural identity of the City of Statesboro. In addition, the appropriate rehabilitation and marketing of the subject site may contribute to a vibrant and cultural downtown that can draw revenue in the form of tourism, economic development and other activities.

Staff further recommends the applicant utilize the new site plan, proposed by staff, which would still allow the new building and new parking lot to be completed as submitted. The applicant submitted an environmental site assessment, completed by Whitaker Laboratory, Inc. and only found lead paint.

In the event Council grants the demolition requested by DSDA 16-10-001, the remaining structures may be removed from the National Register of Historic Places, leaving them vulnerable to demolition without an opportunity for proper review at the federal level, if required. In addition, staff would recommend the following condition should Council grant the request:

1. Applicant is responsible for relocating all utilities, including but not limited to gas lines, utilities, light poles, etc.

EXHIBIT A: LOCATION MAP

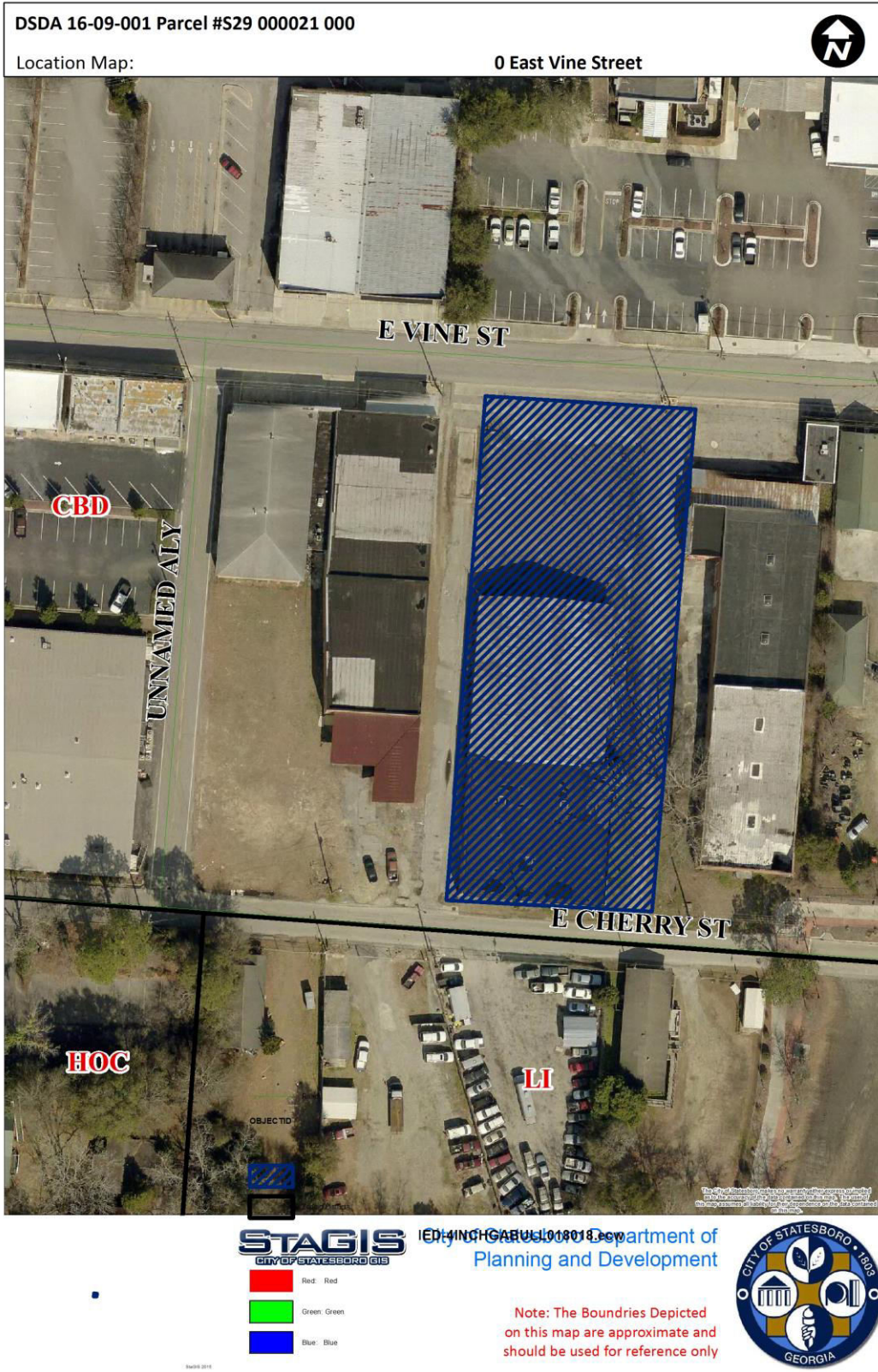
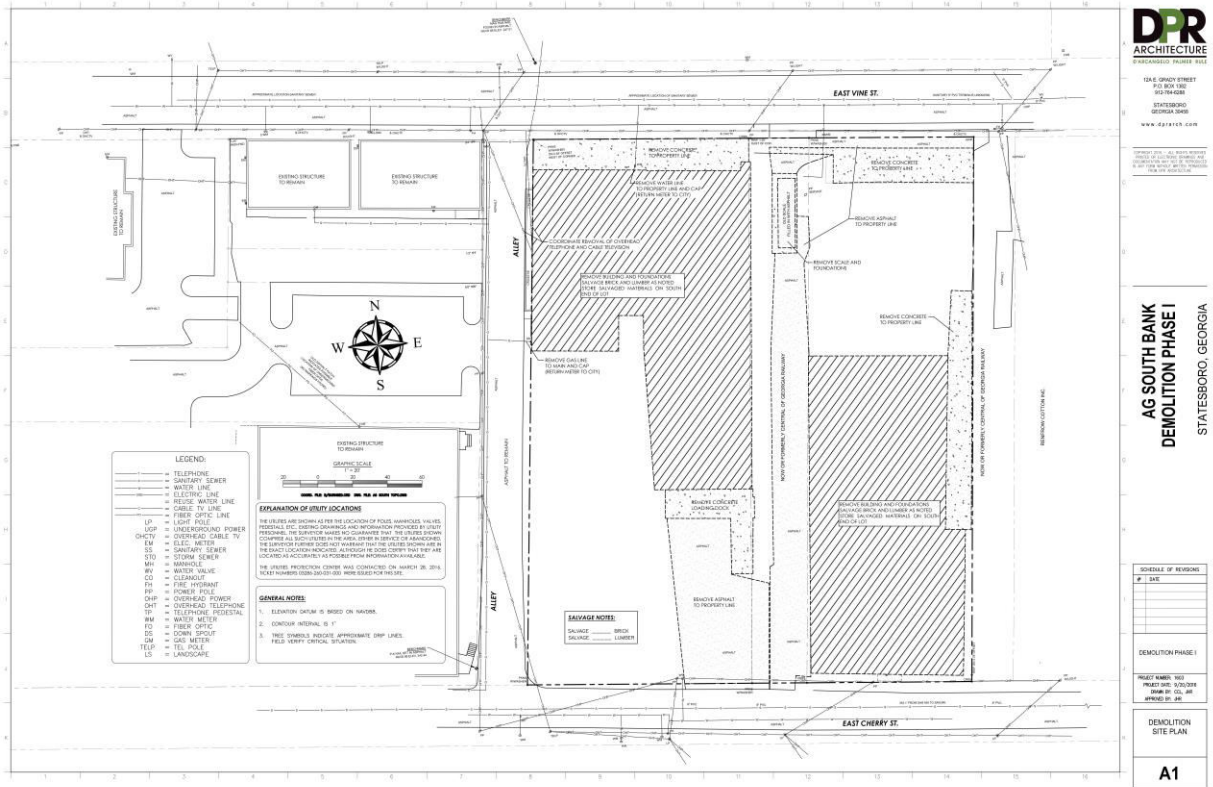


EXHIBIT B: AGSOUTH FARM CREDIT DEMOLITION PHASE I SITE PLAN



1001 20th St., Atlanta, Georgia 30309
 404.525.1100
 www.dprarch.com

**AG SOUTH BANK
 DEMOLITION PHASE I**
 STATESBORO, GEORGIA

SCHEDULE OF REVISIONS	
# DATE	

DEMOLITION PHASE I
PROJECT NUMBER: 1001
PROJECT TITLE: AGSOUTH FARM CREDIT DEMOLITION PHASE I
DATE: 10/26/16
SCALE: AS SHOWN
DEMOLITION SITE PLAN
A1

EXHIBIT C: NATIONAL PARK SERVICE EMAIL CONFIRMING NRHP LISTING

10/27/2016

City of Statesboro Mail - East Vine Street Warehouse and Depot District, Statesboro, Bulloch Co., GA



Candra Teshome <candra.teshome@statesboroga.gov>

East Vine Street Warehouse and Depot District, Statesboro, Bulloch Co., GA

Deline, Lisa <lisa_deline@nps.gov>
To: candra.teshome@statesboroga.gov
Cc: frank.neal@statesboroga.gov

Thu, Oct 13, 2016 at 2:42 PM

Candra - The property located at 0 East Vine Street (tax parcel S29 000021 000) and the property located at 20 East Vine Street (tax parcel S29 000022 000) are contributing properties to the historic East Vine Street Warehouse and Depot District, Statesboro, GA.

This district was listed in the National Register of Historic Places on September 9, 1989. The district meets National Register Criteria A and C for significance in commerce, transportation, and architecture. The period of significance is 1906-1923.

Please let me know if you need any additional information.

--
Lisa Deline
Historian
National Register of Historic Places
www.nps.gov/nr

Like us on Facebook! www.facebook.com/NationalRegisterNPS
Flickr: www.flickr.com/photos/nationalregister/



Centennial Goal: Connect with and create the next generation of park visitors, supporters, and advocates.

https://mail.google.com/mail/u/0/?ui=2&ik=e02d8cc260&view=pt&q=in%3Ainbox&name=Inbox&search=section_query&msg=157bf5b697d8b2ff&siml=... 1/1

EXHIBIT D: PHOTOS OF SUBJECT SITE



Picture 1 Exterior Entrance Facing South toward Cherry Street



Picture 2 Exterior Entrance Facing South toward Cherry Street

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 3 Exterior Depicting Central of Georgia Railway Easement



Picture 4 Exterior Depicting East Wall

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 5 Exterior Entrance Depicting Adjacent Warehouse at 20 East Vine Street in far Right Corner



Picture 6 Exterior Entrance Depicting Masonry and Arched Doorway

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)

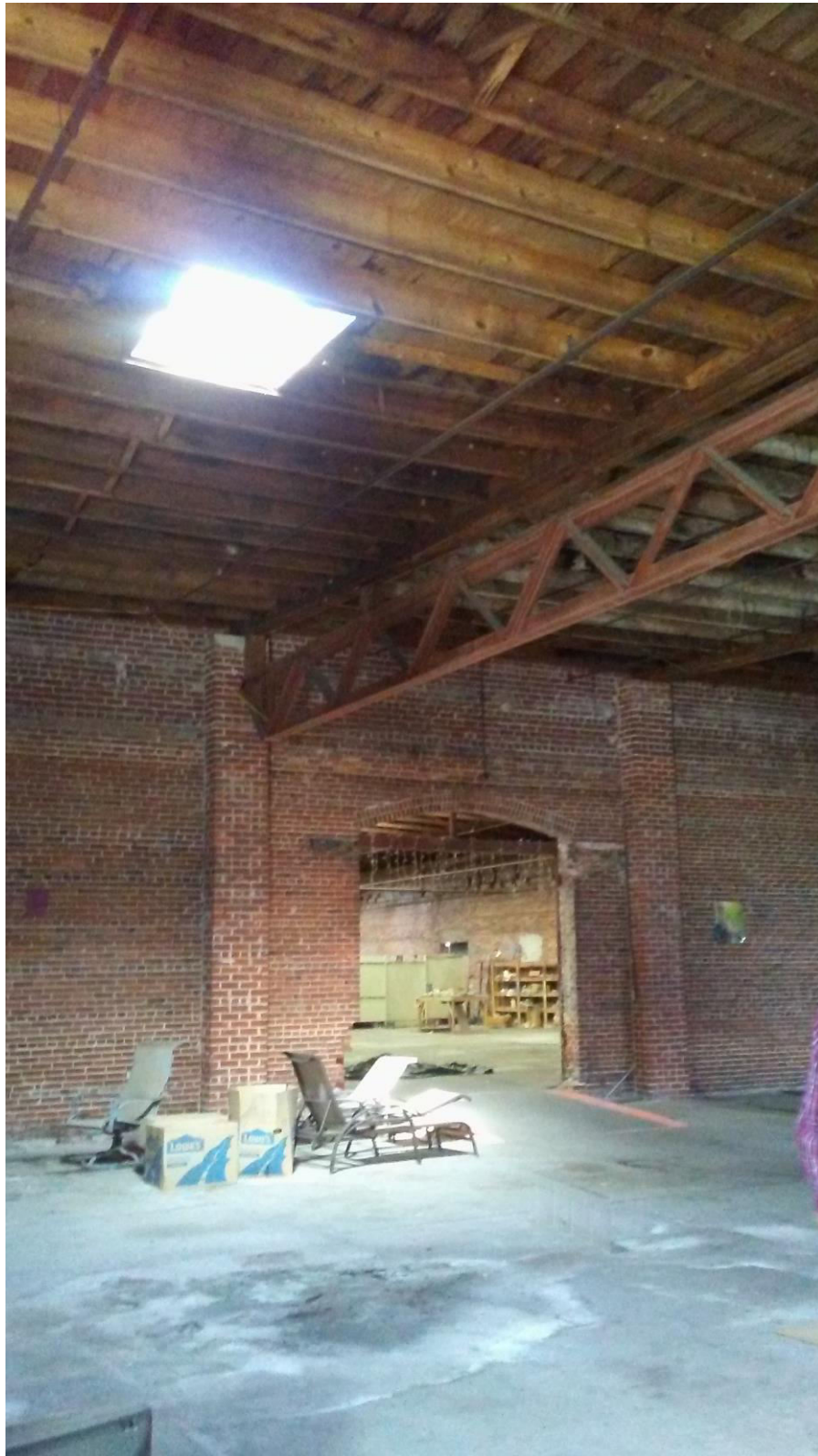


Picture 7 Railroad Ties Located across East Vine Street belonging to Central of Georgia Railway



Picture 8 Building Exterior along Central of Georgia Railway

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 9 Interior Depicting Archway, Skylight, Masonry and Exposed Beams

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)

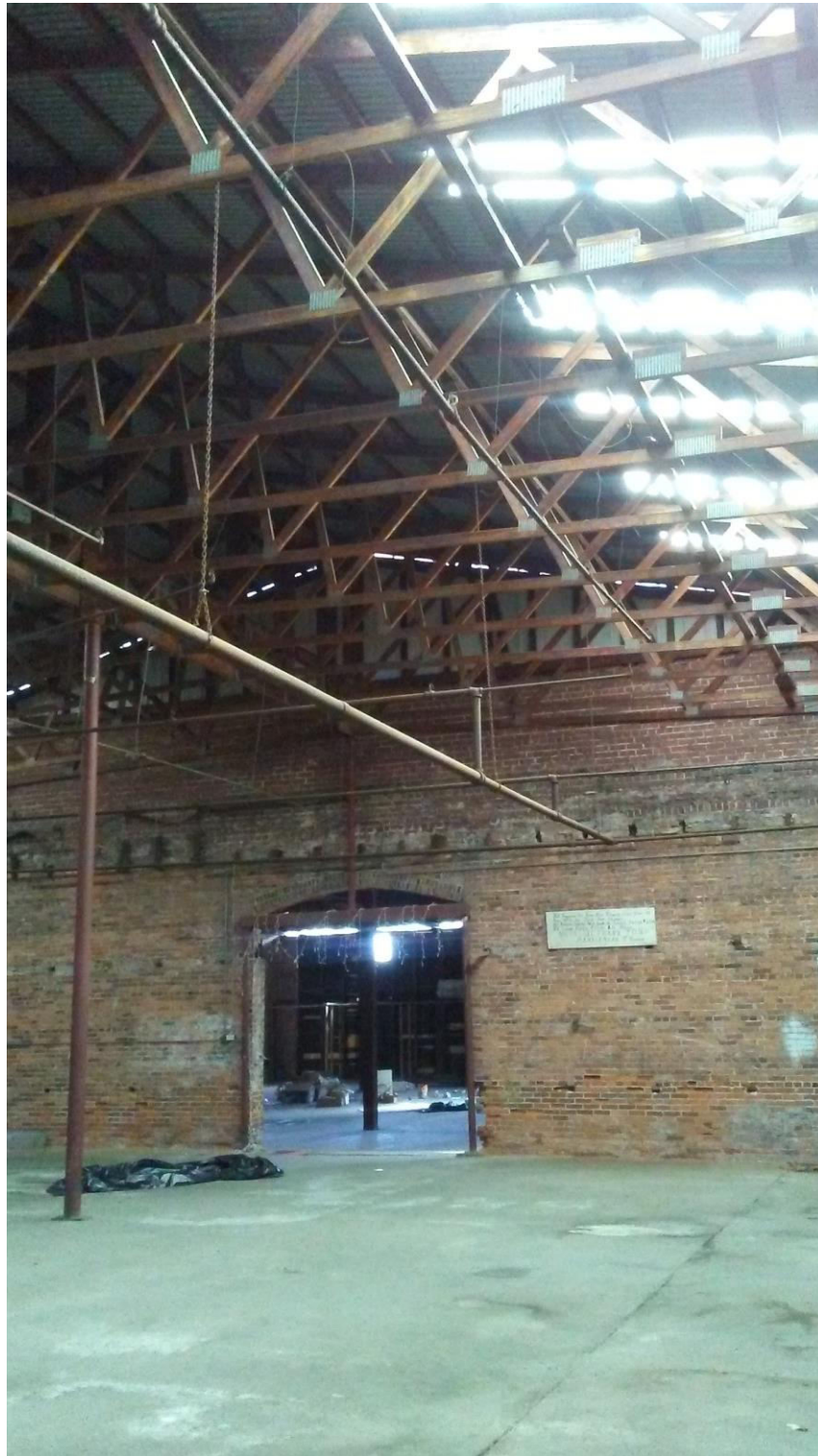


Picture 10 Interior Depicting Triangular Gable with Windows



Picture 11 Interior Depicting Exposed Brick and Succession of Skylights

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 12 Interior Depicting the other Side of the Arched Doorway

EXHIBIT D: PHOTOS OF SUBJECT SITE (CONT)



Picture 13 Entrance Depicting Masonry and Arched Doorway

EXHIBIT E: CITY OF STATESBORO 2014 FUTURE DEVELOPMENT MAP

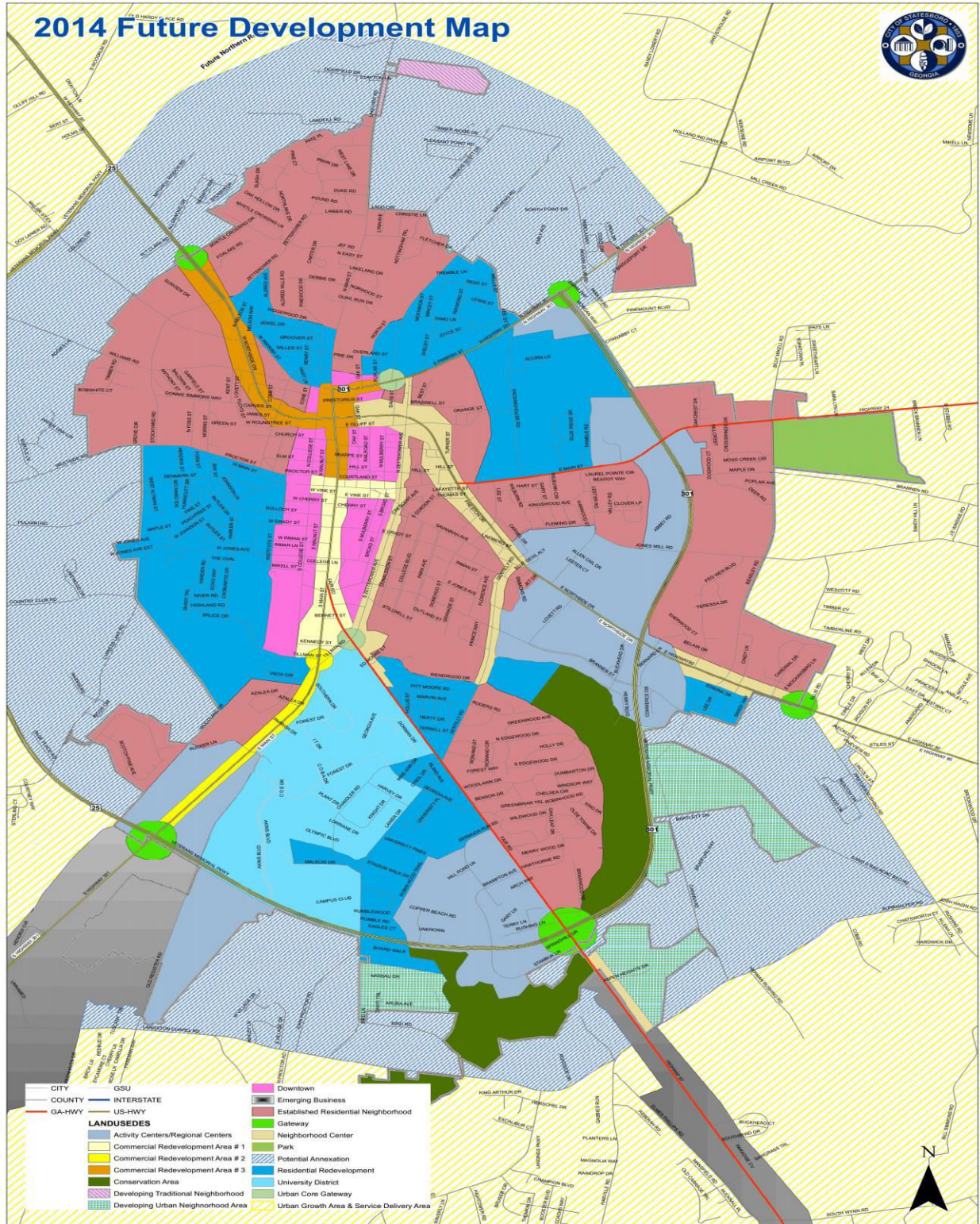


EXHIBIT F: LIST OF PARCELS INCLUDED IN THE TAD

City of Statesboro Tax Allocation District #1: South Main Redevelopment Plan

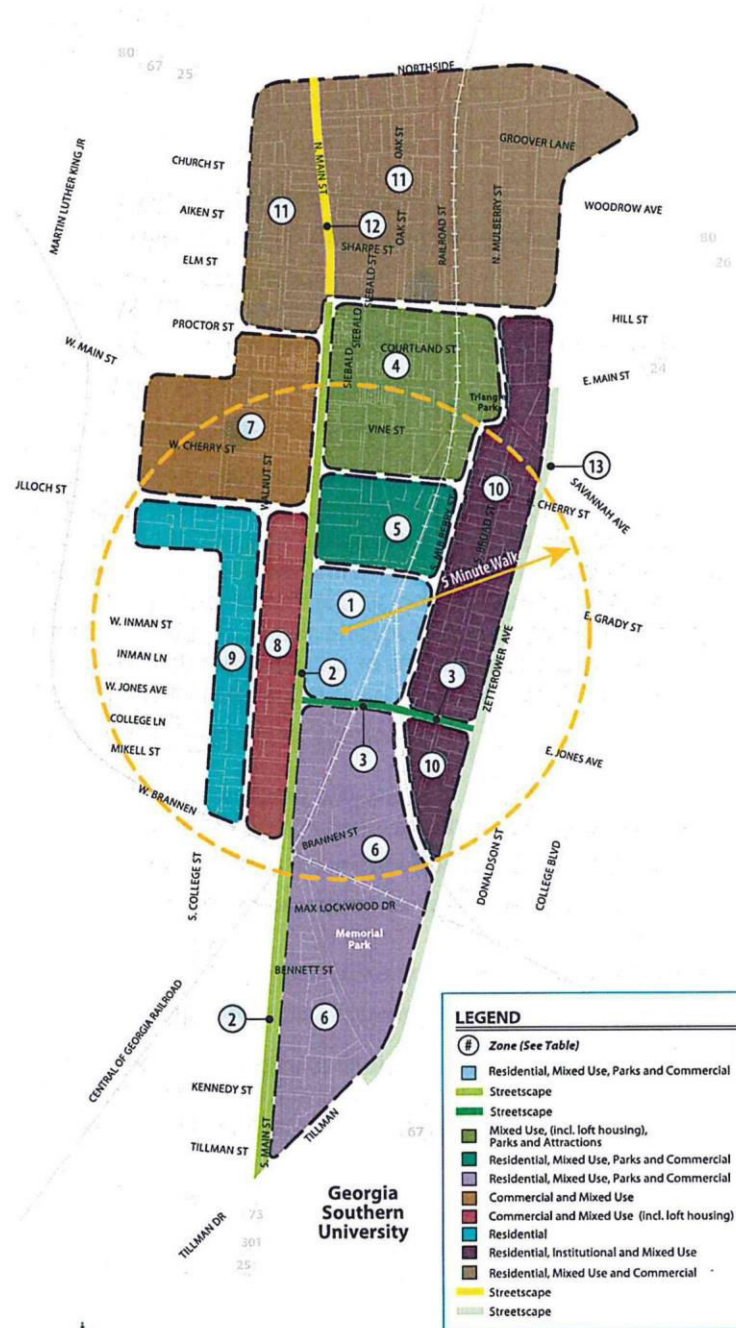
2014

GEOPIN	PARCEL_NO	Legal Description	DIG CLASS	TAXD ISTRIC	Appraised Vaue	Assessed Value	Tax Value
7879-40-0662	S18 000035 000	W VINE ST	C	1	57,616	23,046	23,046
7879-40-0877	S18 000037 000	20-26 W MAIN ST	C	1	441,307	176,523	176,523
7879-40-1034	S19 000005 000	107 S MAIN ST TRELLIS GARDEN	E	1	1,025,544	410,218	0
7879-40-1243	S19 000004 000	CHURCH & BLDGS	E	1	4,606,900	1,842,760	0
7879-40-1462	S18 000033 000	W CHERRY ST	C	1	21,752	8,701	8,701
7879-40-1595	S18 000030 000	27 S MAIN ST	C	1	257,175	102,870	102,870
7879-40-1776	S18 000036A000	VINE STREET	C	1	59,321	23,728	23,728
7879-40-1897	S18 000039 000	STORE/8-18 W MAIN ST	C	1	326,258	130,503	130,503
7879-40-2369	S18 000032 000	LODGE 213	E	1	156,975	62,790	0
7879-40-2463	S18 000031 000	35 S MAIN ST	C	1	173,817	69,527	69,527
7879-40-2680	S18 000029 000	25 S MAIN ST	C	1	59,111	23,644	23,644
7879-40-2693	S18 000028 000	23 S MAIN (GRIMES)	C	1	155,258	62,103	62,103
7879-40-2695	S18 000027 000	19 S MAIN ST/HUGO'S	C	1	136,283	54,513	54,513
7879-40-2792	S18 000026 000	S MAIN ST	C	1	149,242	59,697	59,697
7879-40-2794	S18 000025 000	13 S MAIN ST	C	1	81,183	32,473	32,473
7879-40-3706	S18 000024 000	9 SOUTH MAIN STREET	C	1	69,833	27,933	27,933
7879-40-3709	S18 000023 000	WATERS/7 S MAIN ST	C	1	92,558	37,023	37,023
7879-40-3802	S18 000022 000	S MAIN ST/NORRIS	C	1	131,325	52,530	52,530
7879-40-3804	S18 000021 000	3 S MAIN ST/STORE	C	1	85,317	34,127	34,127
7879-40-3808	S18 000020 000	1 S MAIN ST	C	1	241,592	96,637	96,637
7879-40-3919	S18 000019 000	1 NORTH MAIN STREET	C	1	151,500	60,600	60,600
7879-40-5004	S29 000003 000	106 S MAIN/SBORO INN	C	1	581,476	232,590	232,590
7879-40-5115	S29 000002 000	102 S MAIN ST	E	1	435,000	174,000	0
7879-40-7008	S29 000024A000	BOY SCOUT HUT	E	1	66,500	26,600	0
7879-40-7086	S29 000024 000	2 E CHERRY ST	C	1	46,496	18,598	18,598
7879-40-7359	S29 000022 000	20/22 E VINE ST	C	1	301,830	120,732	120,732
7879-40-9130	S29 000027 000	E CHERRY ST	C	1	45,530	18,212	18,212
7879-40-9308	S29 000021 000	E VINE ST	C	1	113,840	45,536	45,536
7879-41-0004	S18 000062 000	33 W MAIN ST	C	1	71,417	28,567	28,567
7879-41-0083	S18 000045 000	27 W MAIN ST	C	1	133,458	53,383	53,383
7879-41-0407	S18 000058 000	SEARS BLDG/COLEMAN	C	1	277,030	110,812	110,812
7879-41-0605	S18 000057 000	23 N WALNUT	R	1	37,100	14,840	14,840
7879-41-1023	S18 000044 000	25 W MAIN	C	1	35,317	14,127	14,127
7879-41-1042	S18 000043 000	23 W MAIN	C	1	26,583	10,633	10,633
7879-41-1072	S18 000042 000	19-20 W MAIN ST	C	1	73,708	29,483	29,483
7879-41-1111	S18 000046 000	12 & PT 9 /STORE	E	1	26,370	10,548	0
7879-41-1141	S18 000046 001		R	1	1,500	600	600
7879-41-2002	S18 000041 000	DRUG STORE/W MAIN ST	C	1	46,975	18,790	18,790
7879-41-2022	S18 000040 000	15 W MAIN ST	C	1	87,255	34,902	34,902
7879-41-2100	S18 000047 001	PARKING LOT/OFF WALNUT STREET	E	1	22,781	9,112	0
7879-41-2431	S18 000007 000	N MAIN/VAC LOT	C	1	73,255	29,302	29,302

Appendices

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EXHIBIT G: LOCATIONAL GUIDANCE/ZONE IMPLEMENTATION TABLE



Locational / Zone Implementation

EXHIBIT G: LOCATIONAL GUIDANCE/ZONE IMPLEMENTATION TABLE (CONT)

IMPLEMENTATION STRATEGY

Locational / Zone Implementation Table – continued







Zones	Targeted Use/Enhancement	Importance Level	Discussion
 4	Mixed Use (incl. loft housing), Parks and Attractions	Primary, this zone represents the downtown core and is one of the primary redevelopment and infill zones in the master plan	<ul style="list-style-type: none"> • Emphasis on catalyst and specialty projects as well as supportive streetscape enhancements (i.e., Vine Street Retail) • In terms of timing, this area should be targeted in the initial phases of implementation of the master plan
 5	Residential, Mixed Use, Parks and Commercial	Secondary, this zone represents the transitional redevelopment zone between downtown core and those identified as a primary targeted redevelopment areas for new residential mixed use and commercial projects	<ul style="list-style-type: none"> • A transitional zone that is an extension of the downtown core and the adjacent zone to the south • Unless opportunities for acquisition, property assemblage or partnership become available, this area be focused upon secondarily in terms of timing or phasing
 6	Residential, Mixed Use and Commercial	Secondary, this area is viewed as a business/commercial zone and redevelopment should be focused on support or uses related to the University	<ul style="list-style-type: none"> • Potential areas to be targeted may include the closure or redesign of Brannen Street to support contiguous assemblage of parcels • Emphasize reduction of pedestrian/ vehicular conflicts • Improve connectivity with Memorial Park and enhance amenities
 7	Commercial and Mixed Use	Primary, as an extension of the downtown core, this area is important to the master plan based on existing/planned projects and the potential for redevelopment opportunities	<ul style="list-style-type: none"> • This area is deemed primary due to opportunities available and the potential of assemblage of larger development tracts • In the short term exhaust redevelopment opportunities in this areas as appropriate
 8	Commercial and Mixed Use (incl. loft housing)	Primary, the frontage along South Main is a critical part of the master plan. The creation of a mixed use, pedestrian-oriented corridor should be the primary focus in this area	<ul style="list-style-type: none"> • The frontage on the west side of South Main Street is an important supporting element to University and local traffic enhancements • Potential redevelopment should foster pedestrian-scaled neighborhood and community commercial uses • Commercial, office, residential utilization is appropriate for this area
 9	Residential	Secondary, deemed a supporting element to the master plan, the improvements in this area should be market driven and a product of activities occurring in areas deemed as primary importance level	<ul style="list-style-type: none"> • Assemblage of redevelopment parcels could be challenging in this area • The creation of appropriately scaled residential uses is the focus in this zone • Implement neighborhood residential revitalization and stabilization programs to improve and maintain housing stock



EXHIBIT H: BUILDING CONDITIONS DOWNTOWN MASTER PLAN

BACKGROUND



Building Conditions

An evaluation of building conditions throughout the DDA District helps to understand the physical quality of the building stock currently available in downtown. Building conditions contribute to the perception of an area, its strengths and weaknesses or investment and disinvestment. The prevalence of substandard factors may lead to the determination and extent of area being blighted and in need of public intervention, assistance and/or redevelopment. Building conditions both positive and negative are an important element in shaping the direction of the master plan. The results depict that overall, the vast numbers of buildings within the DDA District are in adequate physical condition, with either no observable defects or with minor deficiencies that are relatively inexpensive to correct, typically requiring only regular ongoing maintenance and minor repairs.

There are a number of structures which have been classified into three substandard building condition categories within the DDA District. These classifications include structures which are substandard, deteriorated or dilapidated. These properties have been neglected for a period of time and are now in need of repair and in some cases demolition. Regarding dilapidated structures—negligence, absentee ownership and a lack of investment and maintenance over time—have contributed to their disrepair.

Adequate – No observable exterior defects, adequately maintained and require regular ongoing maintenance.

Substandard – Buildings are generally sound but contain defects which often can be corrected through the course of normal maintenance. Minor defects have limited effects on the structure or architectural systems.

Deteriorated – Buildings or structures that require major repairs, such as but not limited to, a new roof, significant replacement of siding materials or replacement of the foundation. In most cases, a deteriorated structure requires significant monetary investment to make it habitable and compliant with building code regulations.

Dilapidated – Buildings or structures that are an obvious health and safety hazard. In most cases, the cost of repairing the structure is equal to or greater than replacement. Unless there is significant historic value, demolition of these structures should be considered.



EXHIBIT I: HISTORIC RESOURCES OF STATESBORO MAP

